

Site Plans

Issued for Local Approvals
 Date Issued July 11, 2024
 Latest Issue December 2, 2024

Multifamily Development

10 Grosvenor Street
 Worcester, MA



120 Front Street
 Suite 500
 Worcester, MA 01608
 508.752.1001

Architect

Maugel Destefano
 Architects
 200 Ayer Road, Suite 200
 Harvard, MA 01451
 978.456.2884

Surveyor

Geo Network Land Survey
 645 Chandler St
 Worcester, MA 01602
 508.755.7003

Owner / Applicant

Polar Views, LLC
 89 West Main Street
 Unit 101
 Northborough, MA 01590

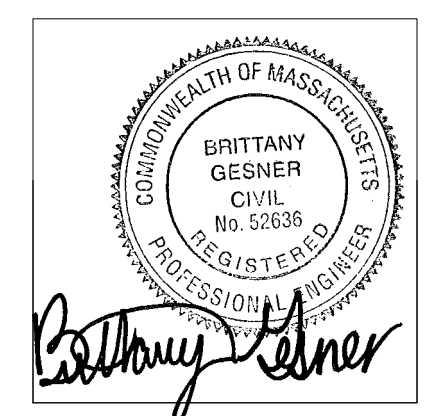
Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	August 30, 2024
C2.01	Site Plan	December 2, 2024
C3.01	Site Details	October 24, 2024
C3.02	Site Details	October 24, 2024
L1.01	Planting Plan and Details	December 2, 2024

Reference Drawings

No.	Drawing Title	Latest Issue
	Existing Conditions Plan of Land	February 24, 2024
L-1	10 Grosvenor Site - Photometric Calculation	August 30, 2024
	Architectural Floor Plans	November 27, 2024
	Architectural Elevations	November 27, 2024
	Architectural Perspectives	November 27, 2024
	Architectural Shadow Study	October 11, 2024

Assessor's Map-Block-Lot: 05-014-0046A





120 Front Street
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Worcester, MA 01608
508.752.1001

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions. Includes categories like Property Line, Pavement, Easement, Foundation, Utilities, and Landmarks.

Abbreviations

Abbreviations table with columns for General and Utility symbols and descriptions. Includes terms like ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and CB (CATCH BASIN).

Notes

- General notes: 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED. 2. CURB RADI ARE THREE (3) FEET UNLESS OTHERWISE NOTED. 3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT. 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY GEO NETWORK LAND SURVEY, AND FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY GEONETWORK LAND SURVEY, DURING FEBRUARY 2024. 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD88

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS. 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

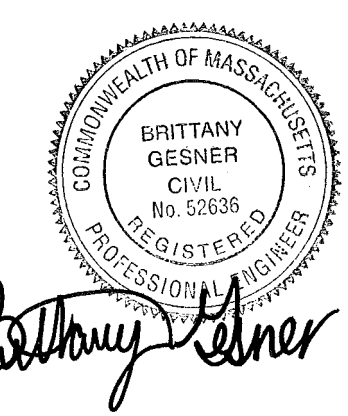
Multifamily Development

10 Grosvenor Street
Worcester, MA

Revision table with columns: No., Revision, Date, Apprd. Includes one revision: 1 Address City Comments 08/30/2024 BMG

Designed by CSH Checked by BMG
Issued for Local Approvals Date July 11, 2024

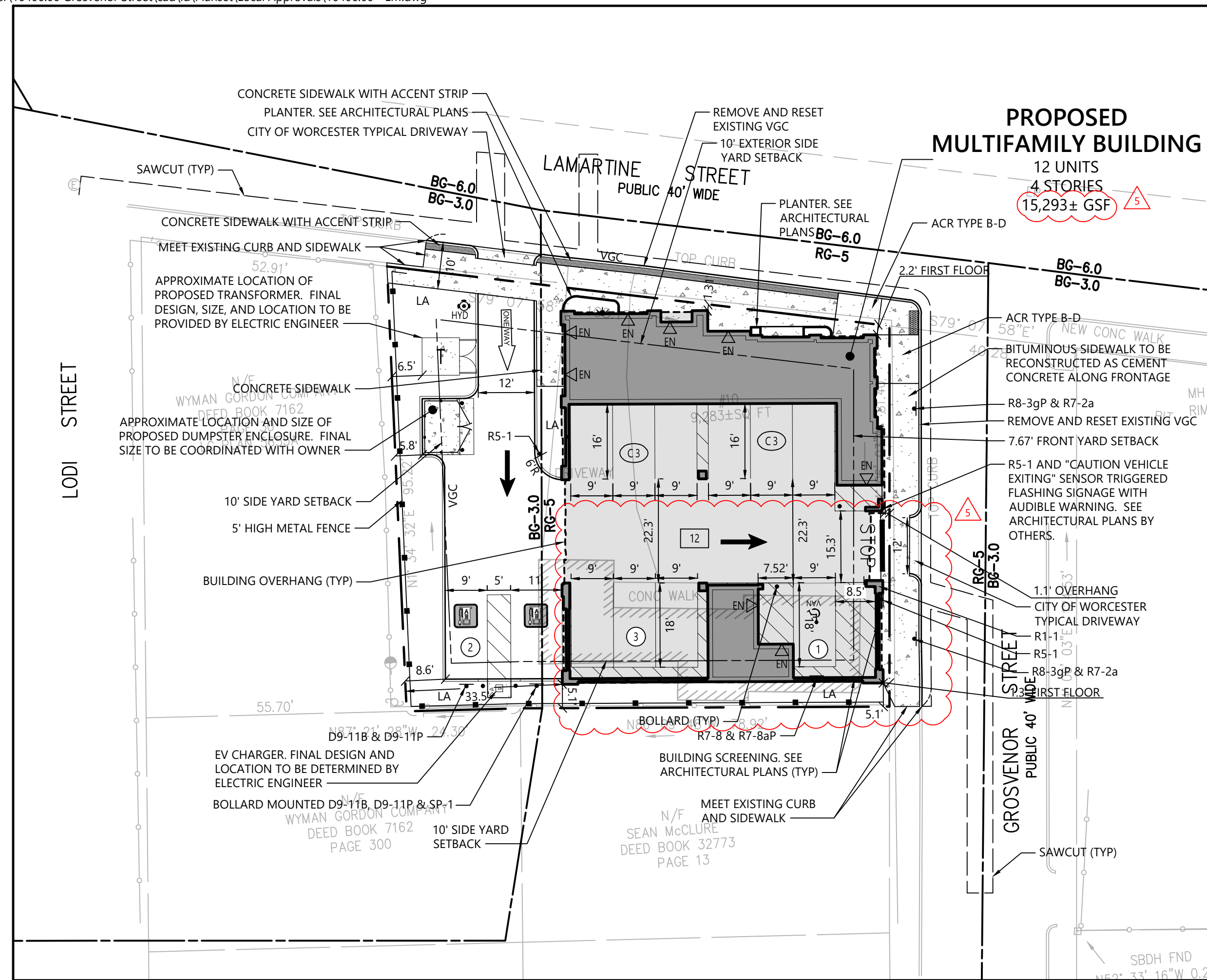
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Drawing Title Legend and General Notes
Drawing Number



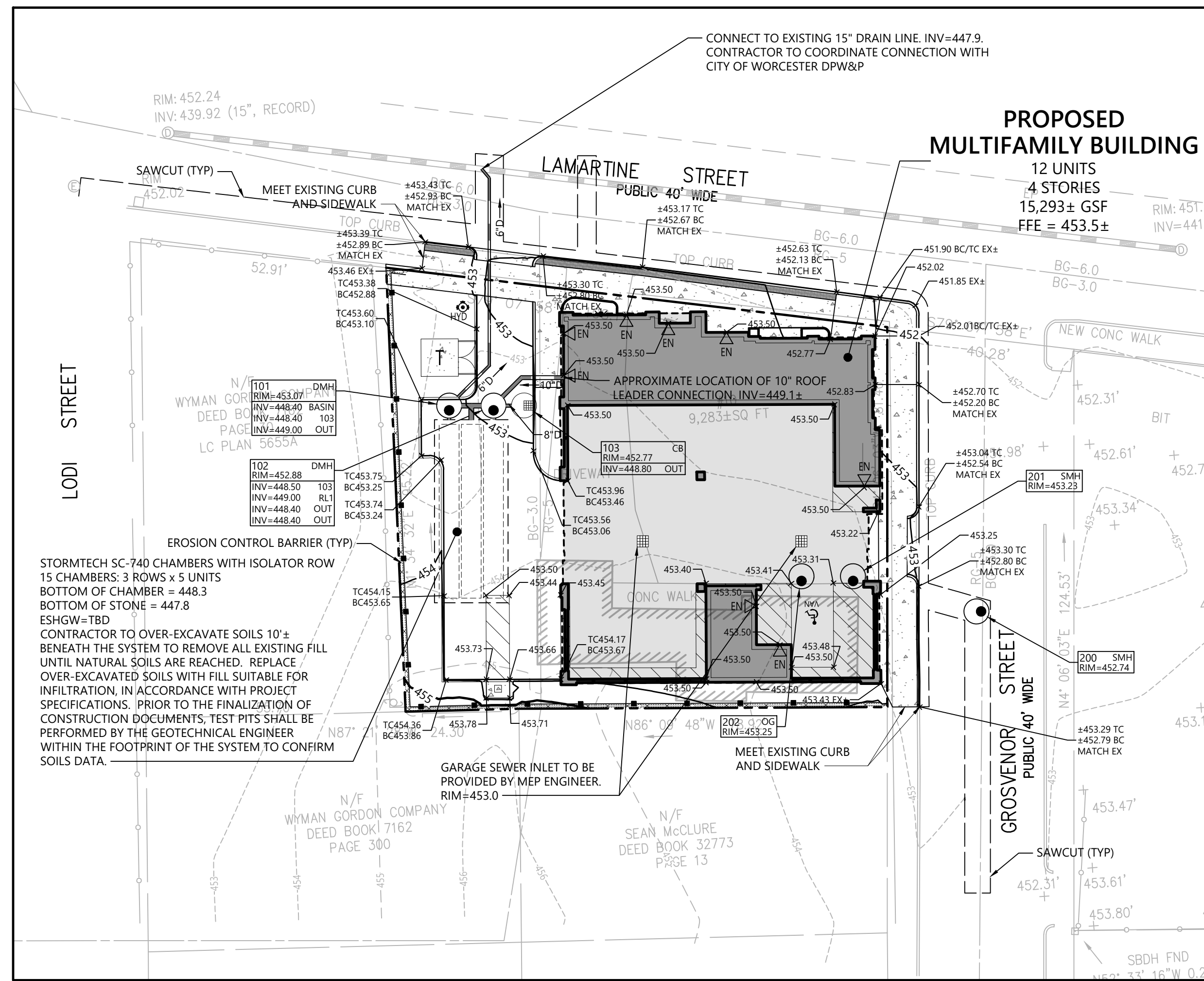
C1.01
Sheet of 1 5
Project Number 16406.00



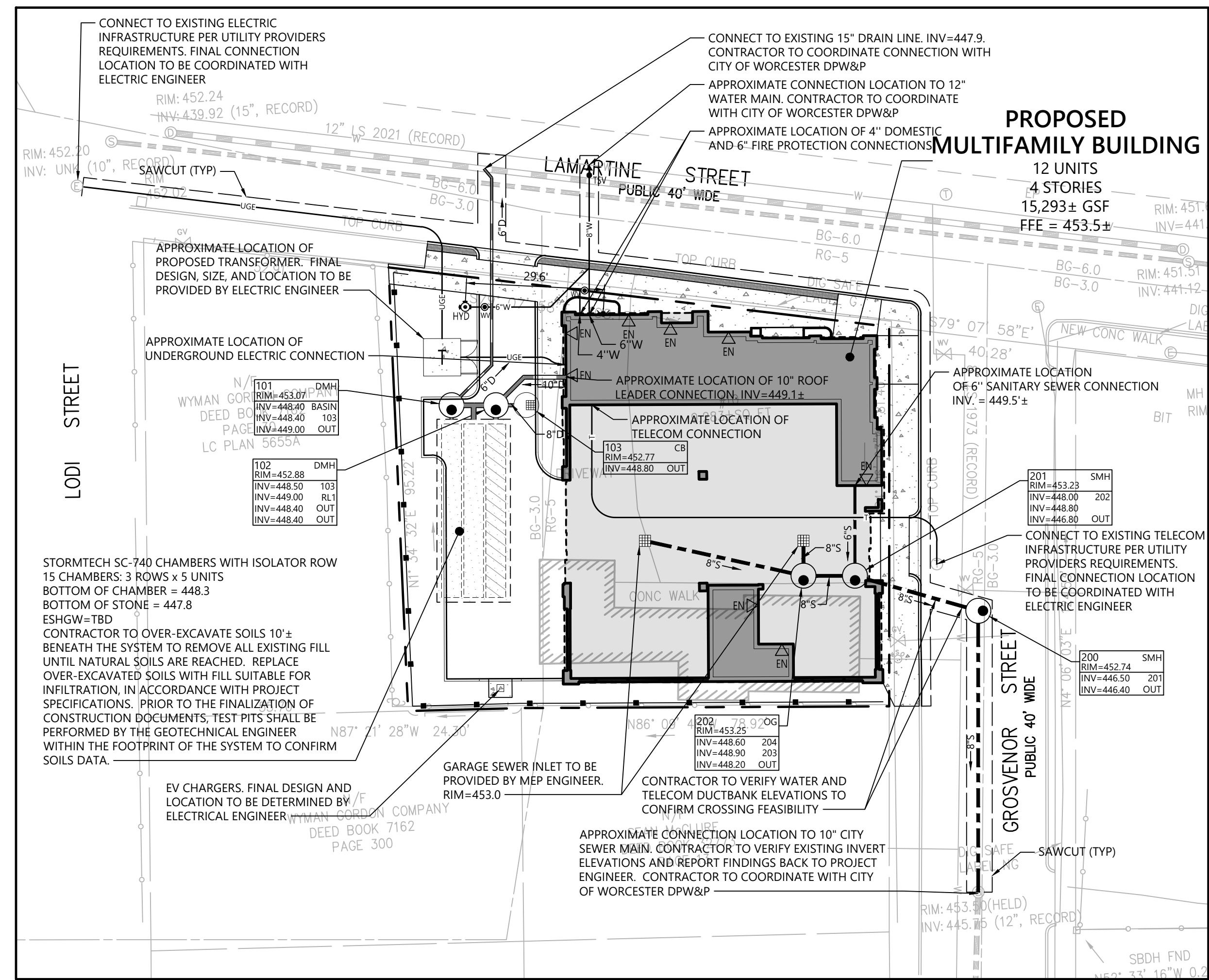
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Layout and Materials Plan



Grading, Drainage, and Erosion Control Plan



Utility Plan

Sign Summary

M.U.T.C.D. Number	Specification	Desc.
R1-1	30" x 30"	STOP
R5-1	30" x 30"	DO NOT ENTER
R7-2a	12" x 18"	NO PARKING 8:00 AM TO 5:00 PM
R7-8	12" x 18"	RESERVED PARKING
R7-8aP	12" x 6"	EV
R8-3gP	12" x 12"	LOADING ZONE
D9-11B	12" x 18"	EV CHARGING
D9-11BP	12" x 12"	ELECTRIC VEHICLE CHARGING
SP-1	12" x 6"	USE LAST

Parking Requirements:

RESIDENTIAL	12 UNITS	x	2 SPACES	/	1 UNIT	=	24 SPACES	
15% DENSITY BONUS REDUCTION							- 3 SPACES	
25% ELIGIBLE DEVELOPMENT REDUCTION							- 5 SPACES	
50% SPECIAL PERMIT REDUCTION *							- 4 SPACES	
TOTAL PARKING REQUIRED							=	12 SPACES

* The 50% SPECIAL PERMIT REDUCTION OF 4 SPACES IS BASED ON A TOTAL SPACES REQUIRED BEING 24 SPACES, WHICH ALLOWS A TOTAL REDUCTION OF 12 SPACES.

Zoning Summary Chart

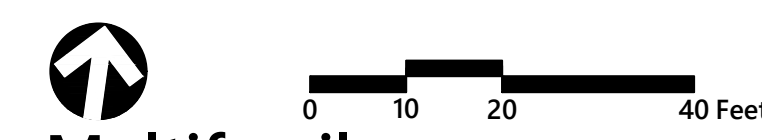
Zoning District(s):	Residence, General (RG-5), & Business, General (BG-3.0)		
Overlay District(s):	N/A		
Zoning Regulation Requirements	Required (RG-5) ¹	Eligible Development Reduction ²	Provided
MINIMUM LOT AREA	13,250 SF ³	11,262.5 SF ⁴	9,283± SF
MINIMUM FRONTAGE ⁵	100 Feet ⁶	96 Feet ⁷	81.4 Feet
FRONT YARD SETBACK ⁸	7.67 Feet ⁸	-	1.1 Feet ⁹
EXTERIOR SIDE YARD SETBACK ⁸	10 Feet	-	1.31 Feet ⁹
SIDE YARD SETBACK ⁸	10 Feet	-	5.1 Feet ⁹
MAXIMUM BUILDING HEIGHT	90 Feet	-	49 Feet 10 Inches
MAXIMUM BUILDING HEIGHT	8+ Stories	-	4 Stories
MAXIMUM FRONT YARD IMPERVIOUS AREA	50 %	-	93 %
MAXIMUM EXTERIOR SIDE YARD IMPERVIOUS AREA	50 %	-	94 %

- Zoning regulation requirements as specified in the City of Worcester Zoning Ordinance, dated April 2, 1991 as amended through May 9, 2023.
- The project is an Eligible Development per Article VII Section 6, and can reduce the dimensional requirements by 15% in RG-5 districts.
- Within the RG-5 district, required lot area based on 12 dwelling units is 13,250 SF. (5,000 SF + (750 SF x 11 DU) = 13,250 SF).
- With the Eligible Development Reduction (15%), required lot area based on a 15% reduction of 13,250 SF is 11,262.5 SF. (13,250 x 0.85 = 11,262.5 SF).
- The lot is a corner lot has identified Grosvenor Street as its front lot line. Lamartine St. is considered an exterior side lot line.
- Within the RG-5 district, required frontage based on 12 dwelling units is 100 Feet (50 Feet + (5 Feet x 11 DU) = 105 Feet) which exceeds the 100 feet limitation from Table 4.2 of the Zoning Ordinance.
- With the Eligible Development Reduction (15%), required frontage based on a 15% reduction of the total number of dwelling units is 96 Feet. (12 DU x 0.85) = 102. DU: 50' + (92.2 DU x 5') = 96'
- The required front yard setback is based on Note 6 of Table 4.2 which provides that the average front yard setback of the existing buildings fronting on the same street and block within 150 feet shall be the required front yard setback. (12 Grosvenor St. = 5.75'; 16 Grosvenor St. = 3.75'; 20 Grosvenor St. = 13.5'; 5.75' + 3.75' + 13.5' = 23' + 3' = 7.67').
- No building is proposed within the BG-3.0 District. As such, only the RG-5 required setbacks apply.
- Regularity Factor for 10 Grosvenor Street = (16 x 9,283 sf) + 388.02² = 0.987

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Existing	Required
STANDARD SPACES	9 x 18	9 x 18	2	-
COMPACT SPACES (25% ALLOWED, 50% WITH SP)	8 x 16	8 x 16	-	-
STANDARD ACCESSIBLE SPACES ¹	8 x 18	-	-	0
VAN ACCESSIBLE SPACES ²	8 x 18	9 x 18	-	1
STANDARD ELECTRIC VEHICLE SPACES ³	9 x 18	9 x 18	-	1
ELECTRIC VEHICLE SPACES (DESIGNED TO BE ACCESSIBLE) ⁴	11 x 18	11 x 18	-	1
TOTAL SPACES			2	12

- REQUIRED ACCESSIBLE SPACES IS BASED ON 10 TOTAL SPACES PROVIDED PER MAAB (1 ACCESSIBLE SPACE REQUIRED)
- REQUIRED ACCESSIBLE VAN SPACES IS BASED ON 1 TOTAL ACCESSIBLE SPACES PROVIDED. (ONE IN EVERY EIGHT SPACES SHALL BE A DESIGNATED VAN ACCESSIBLE STALL PER MAAB = 1 SPACE)
- REQUIRED ELECTRIC VEHICLE SPACES IS BASED ON 10 TOTAL SPACES PROVIDED. (20% OF 10 SPACES = 2 SPACES REQUIRED TO BE ELECTRIC VEHICLE SPACES)
- REQUIRED ELECTRIC VEHICLE SPACES DESIGNED TO BE ACCESSIBLE IS BASED ON 2 TOTAL ELECTRIC VEHICLE SPACES PROVIDED. (2 TOTAL SPACES = 1 ACCESSIBLE SPACE PER MAAB)



Multifamily Development
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No.	Revision	Date	Appvd.
1	Address City Comments	07/11/2024	BMG
2	Address City Comments	08/30/2024	BMG
3	Address City Comments	10/24/2024	BMG
4	Address City Comments	11/18/2024	BMG
5	Address City Comments	12/02/2024	BMG

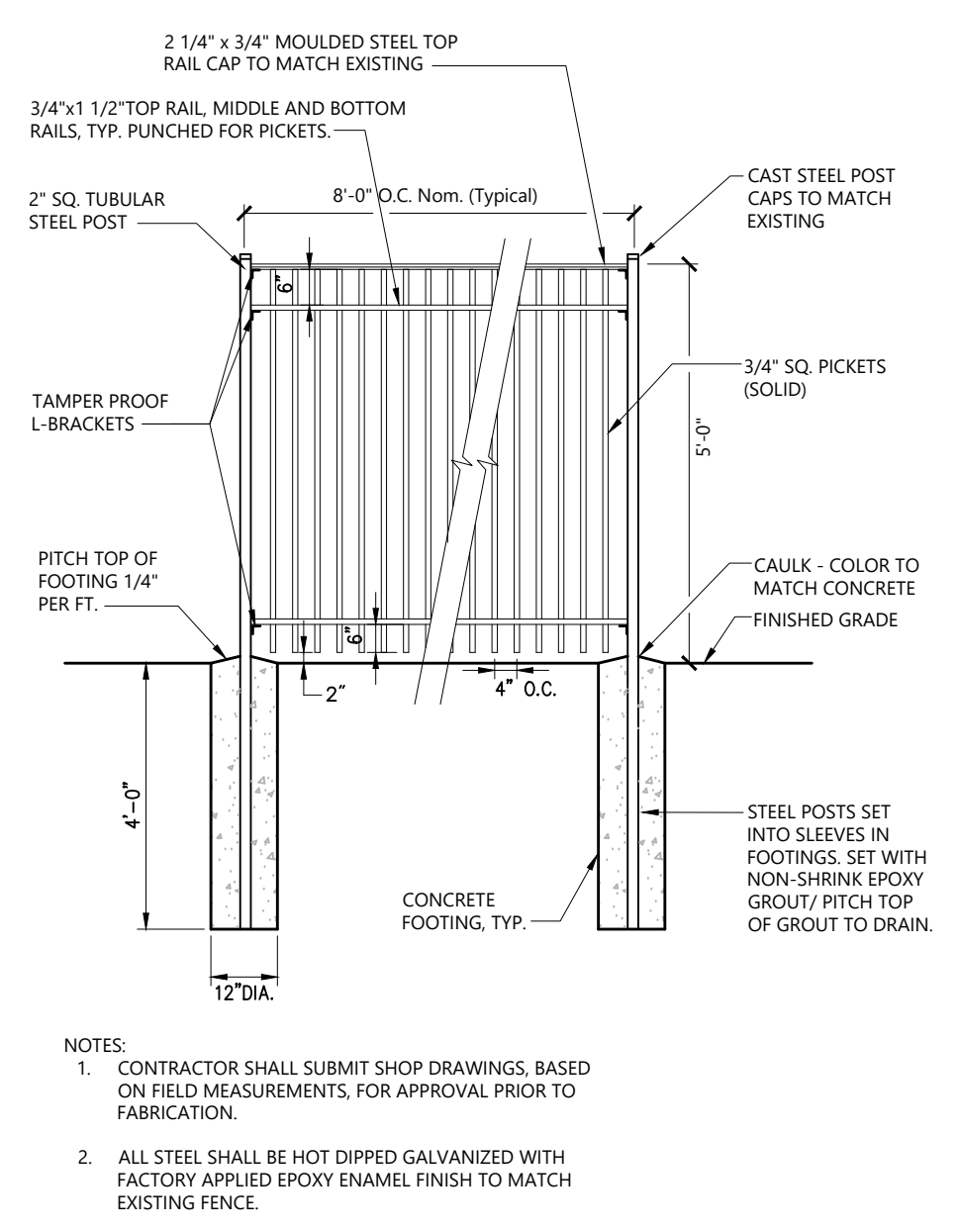
Designed by: CSH
Checked by: BMG
Issued for: Local Approvals
Date: July 11, 2024

Not Approved for Construction
Drawing Title: Site Plan
Drawing Number: C2.01

BRITTANY GESNER CIVIL ENGINEER
Professional Seal
C2.01
Sheet 2 of 5
Project Number: 16406.00



120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001



5' Ht. Metal Fence 11/17
N.T.S. Source: Ameristar Fence LD_200

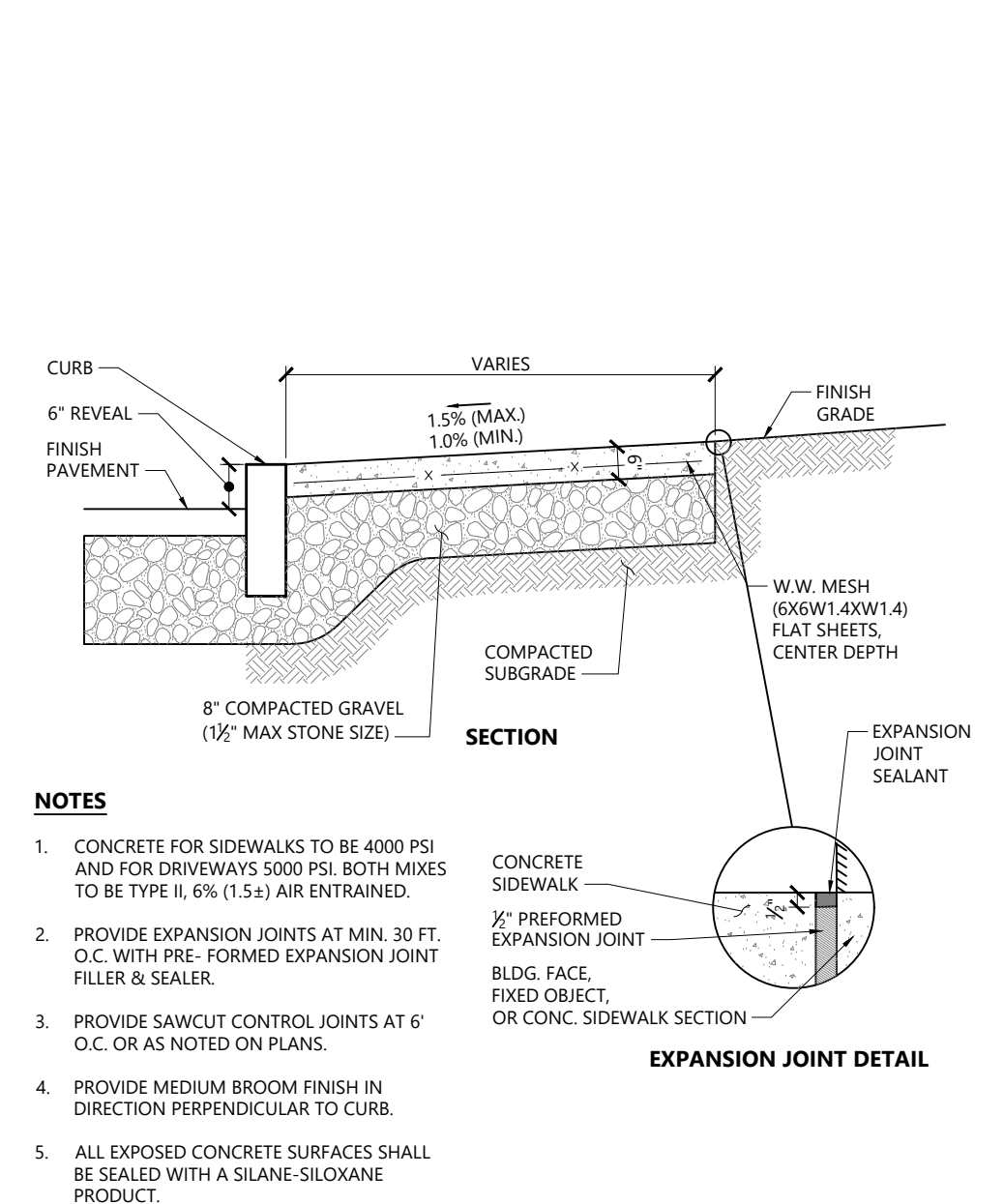
TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/2"	8"	15"	12"	24"	13"	6" 45"	8"	30"	12"	24"	14"
6" 22 1/2"	-	19"	-	-	13"	6" 90"	-	30"	-	-	27"
8" 11 1/2"	-	20"	-	12"	8" 45"	-	30"	-	-	-	24"
8" 22 1/2"	-	22"	-	-	17"	8" 90"	-	38"	-	-	36"
12" 11 1/2"	-	30"	-	15"	12" 45"	-	40"	-	-	-	40"
12" 22 1/2"	-	35"	-	25"	12" 90"	-	60"	-	-	-	52"

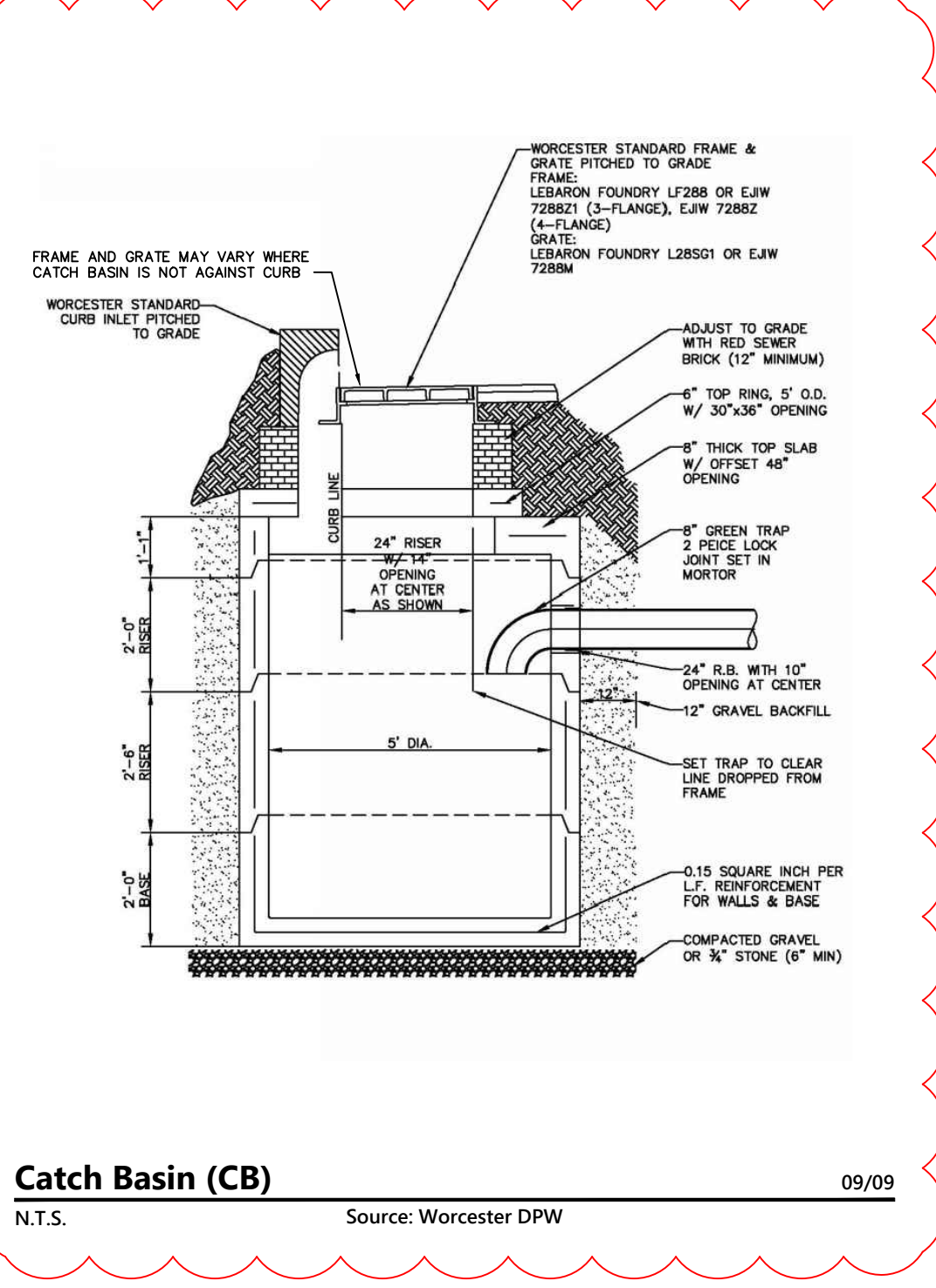
TEES

TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	-	-	-	-	12"X12"X8"	-	-	-	24"
8"X8"X8"	-	-	24"	-	12"X12"X12"	-	36"	-	36"

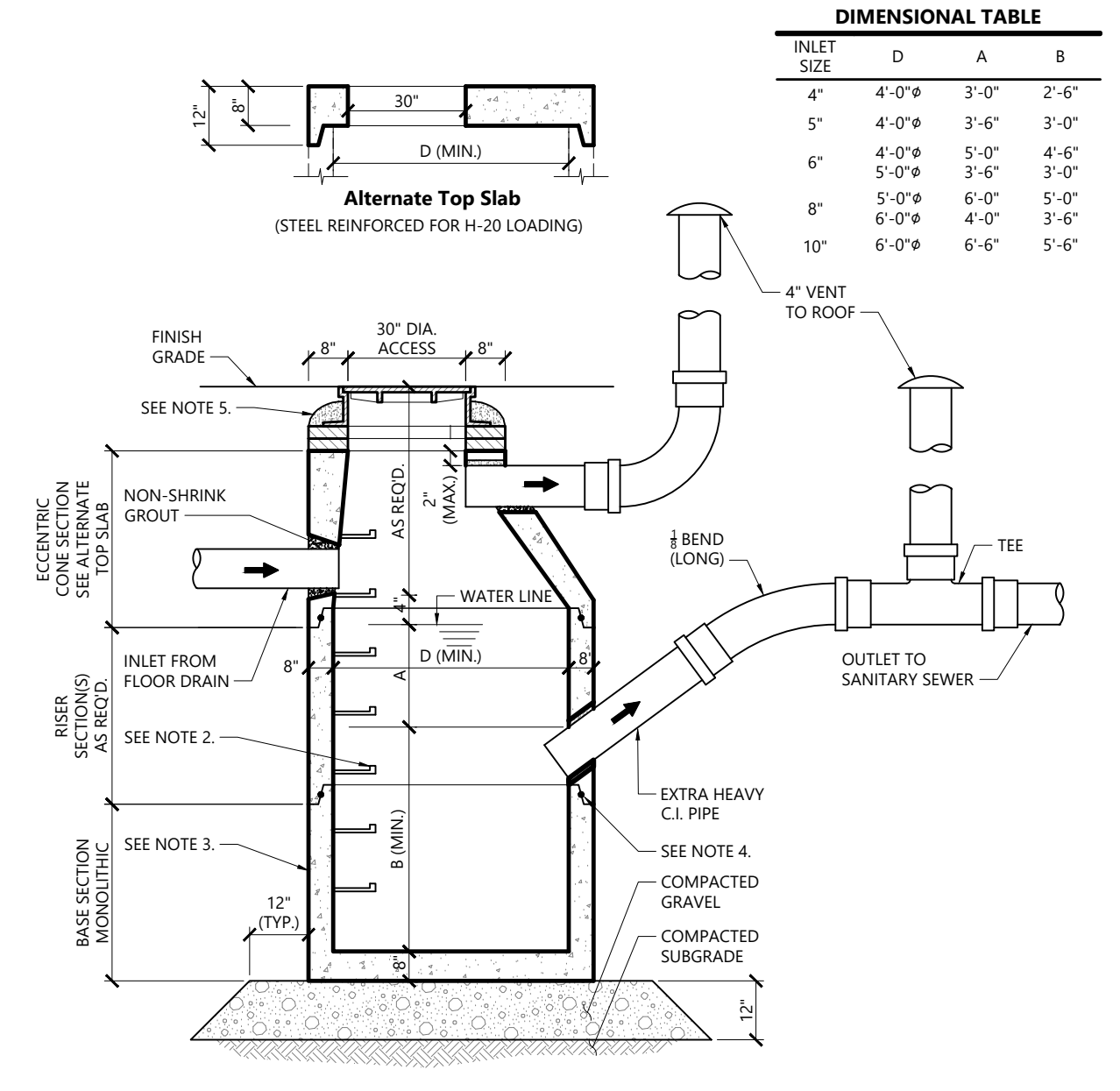
Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260



Concrete Sidewalk 3/20
N.T.S. Source: VHB LD_420

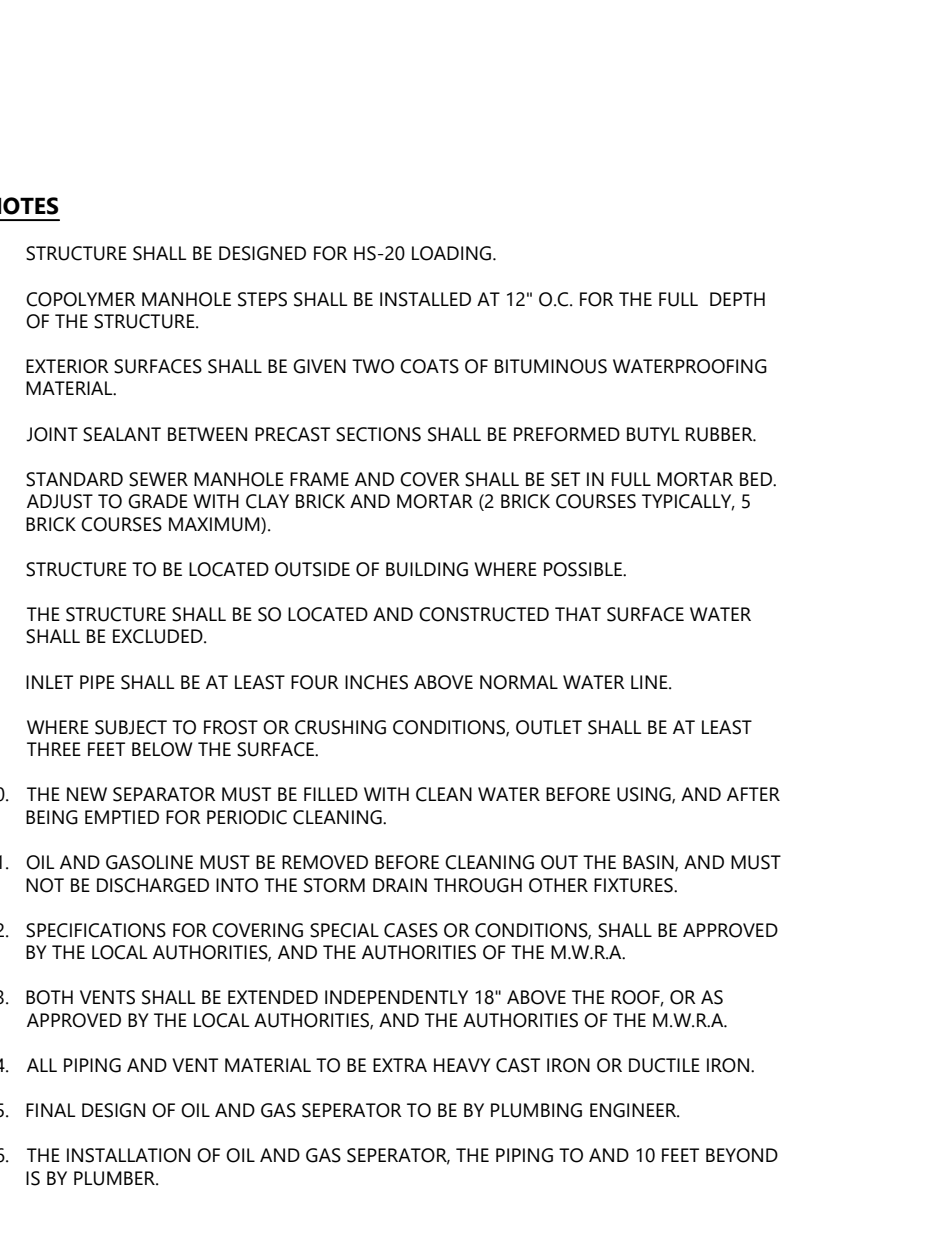


Catch Basin (CB) 09/09
N.T.S. Source: Worcester DPW

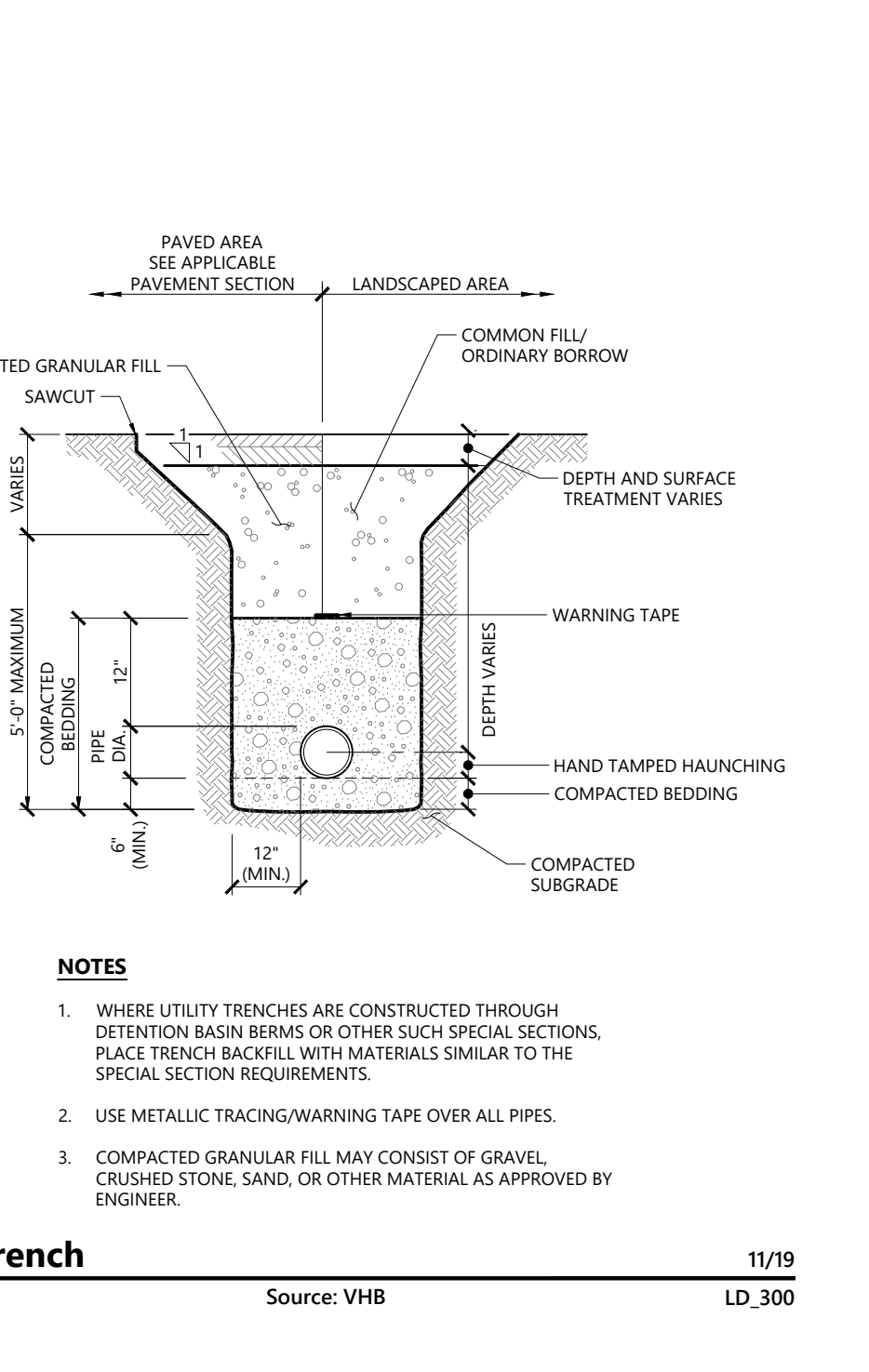


Oil And Gasoline Separator 10/20
N.T.S. Source: VHB LD_228

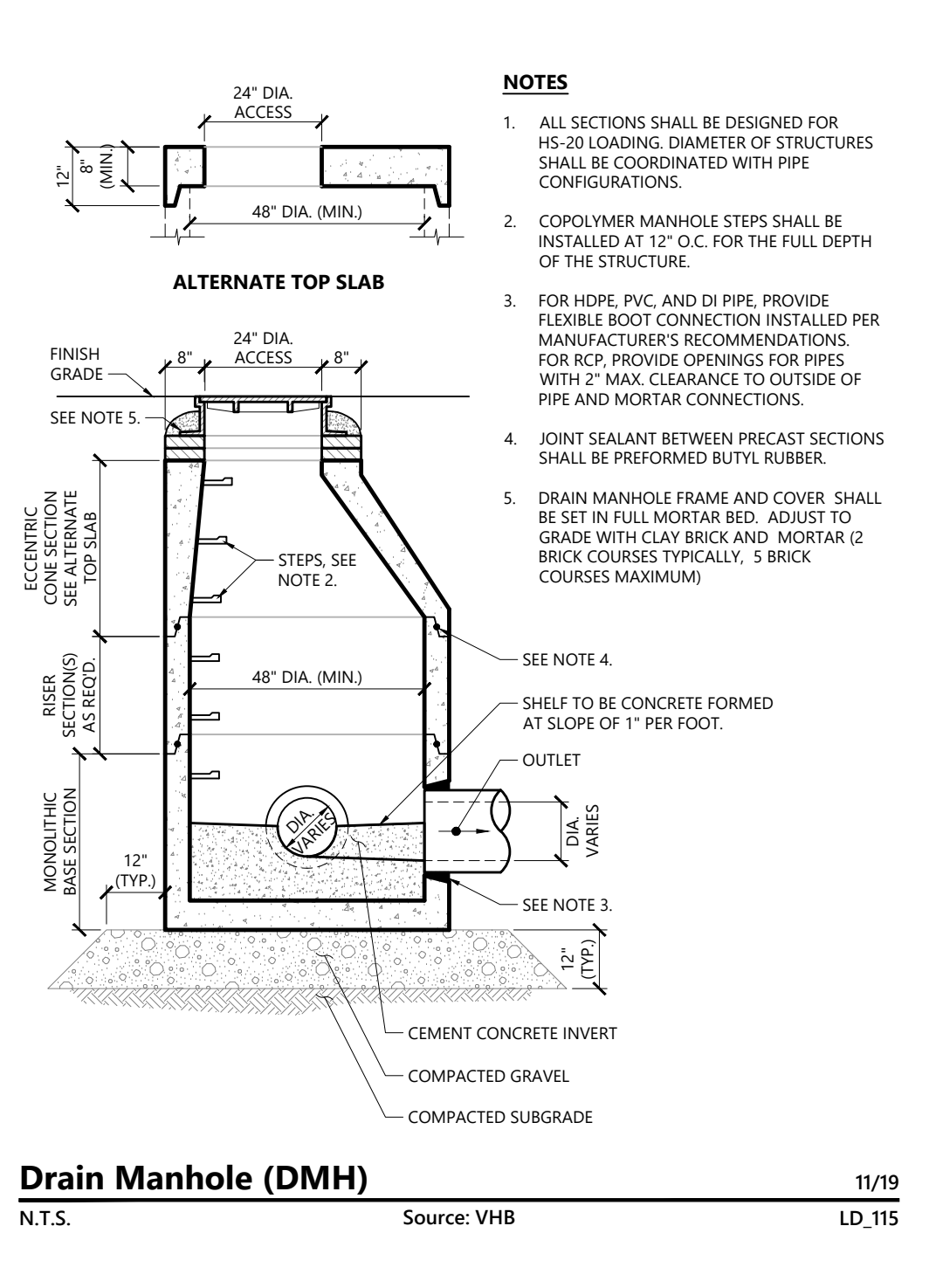
Vertical Granite Curb (VGC) 3/20
N.T.S. Source: VHB LD_402



Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



Utility Trench 11/19
N.T.S. Source: VHB LD_300



Drain Manhole (DMH) 11/19
N.T.S. Source: VHB LD_315

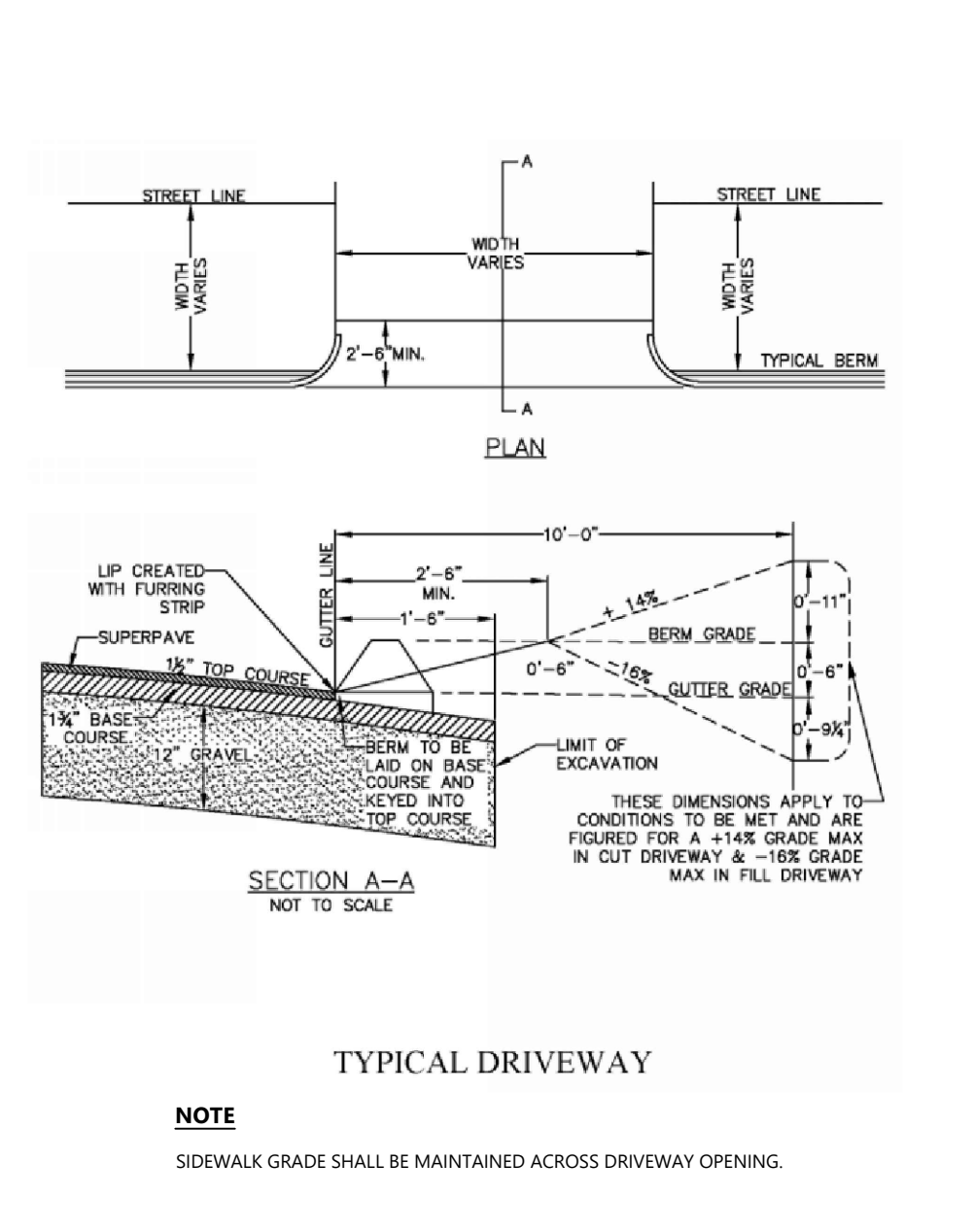
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE 'D' LAYER.	ANY SUBGRADE MATERIALS, NATIVE SOILS, OR PER ENGINEERS PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE TO LAYER 'D' AND ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE A PART OF THE 'C' LAYER.	GRANULAR FILL: GRANULAR SOLID AGGREGATE (SANDS, SILTS, OR FINE SANDS) OR FINE SANDS OR FINE SANDS AND SILTS. 100% FINES OR PROCESSED AGGREGATE.	AASHTO M45* A1-A.4-A.3 3, 307, 4, 407, 5, 60, 9, 8, 8, 7, 7, 8, 8, 9, 10
B	EMBODIMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYER TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M45* 3, 307, 4, 407, 5, 60, 9, 10
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M45* 3, 307, 4, 407, 5, 60, 9, 10

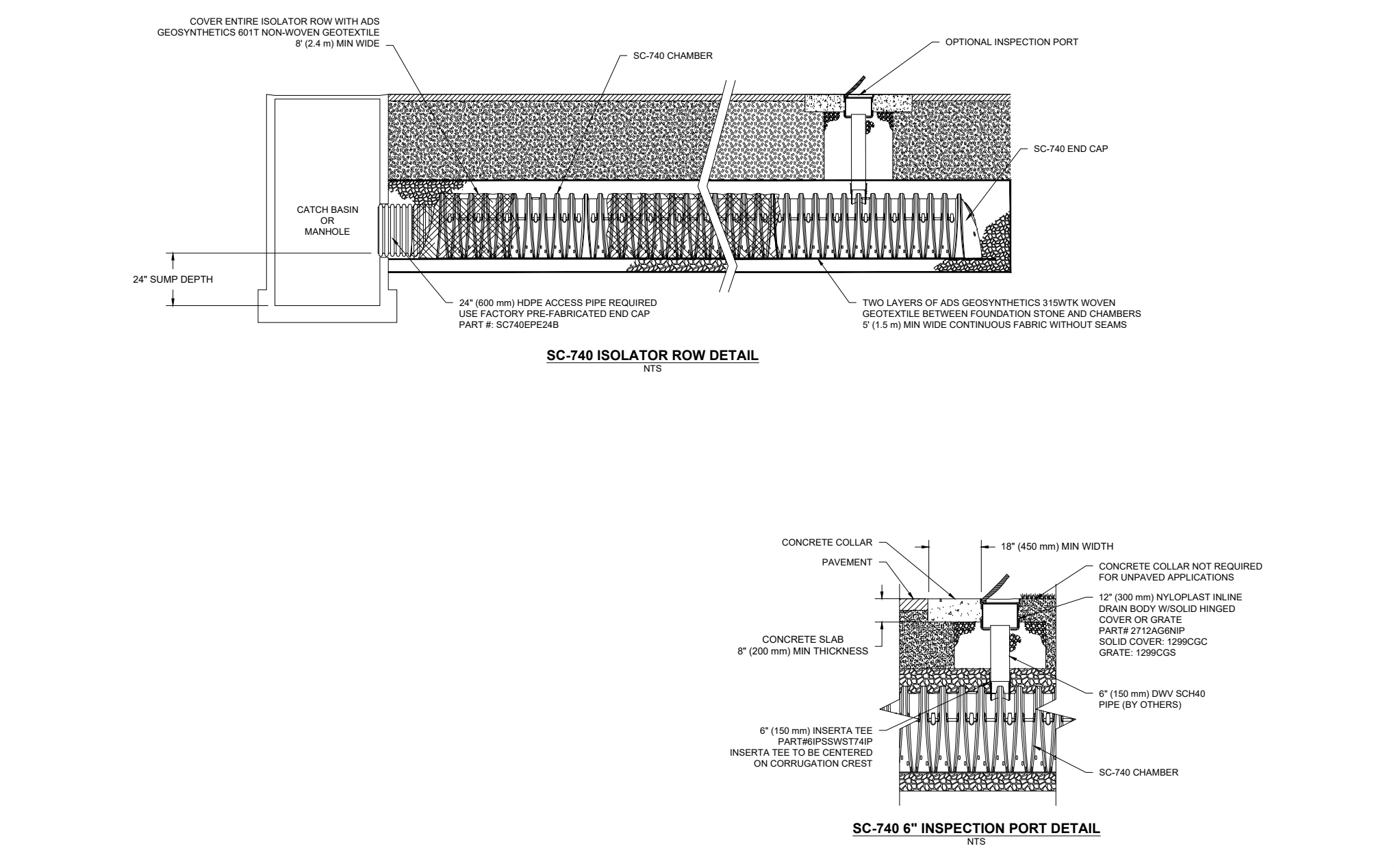
PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR A STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR, 3/8\"
- STORMTECH CHAMBER REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED BY THE 100 mm (4") WALLS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY ROLLING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

Subsidence Detention/Infiltration System (StormTech SC-740) 10/20
N.T.S. Source: StormTech LD_182-740



Typical Driveway N.T.S. Source: City of Worcester



StormTech SC-740 Isolator Row Profile N.T.S. Source: StormTech

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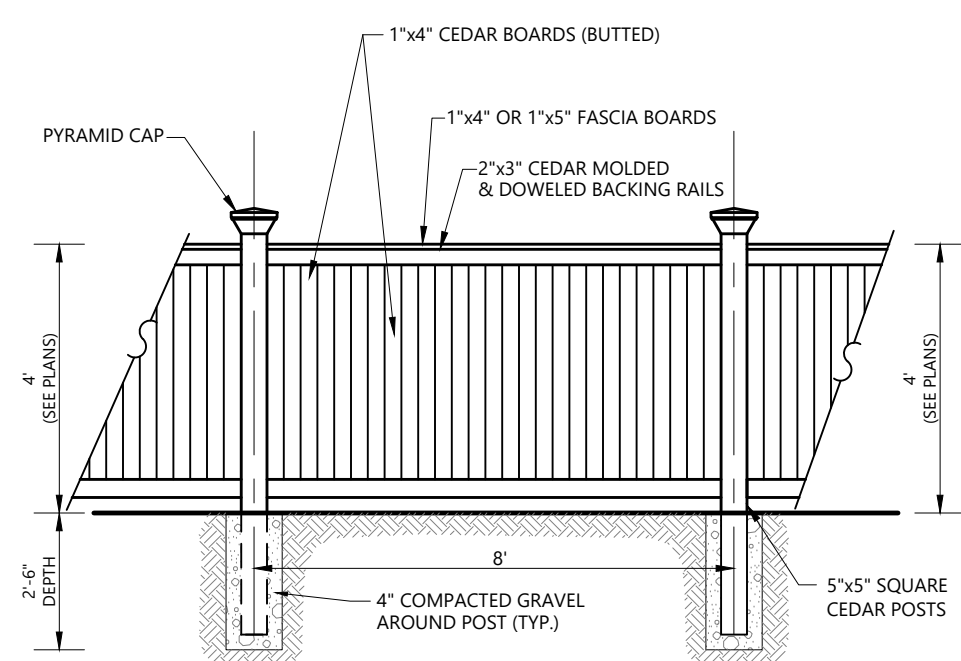
Designed by: CSH
Checked by: BMG
Issued for: _____ Date: _____
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C3.01
Sheet 3 of 5
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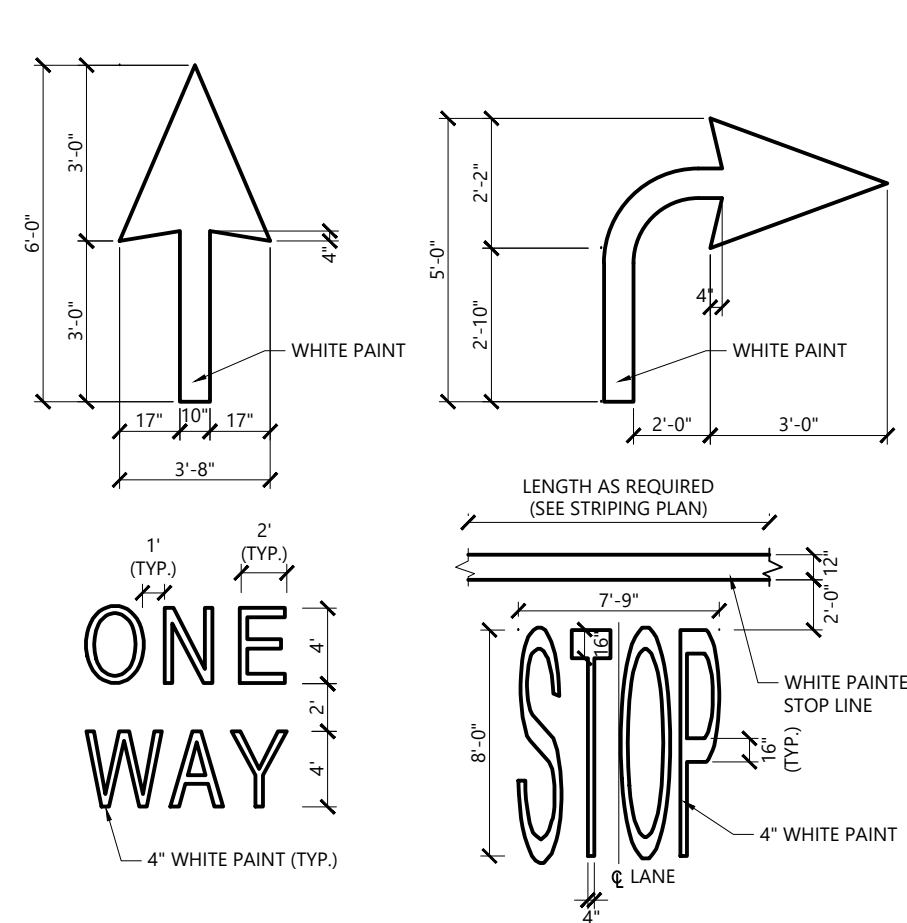


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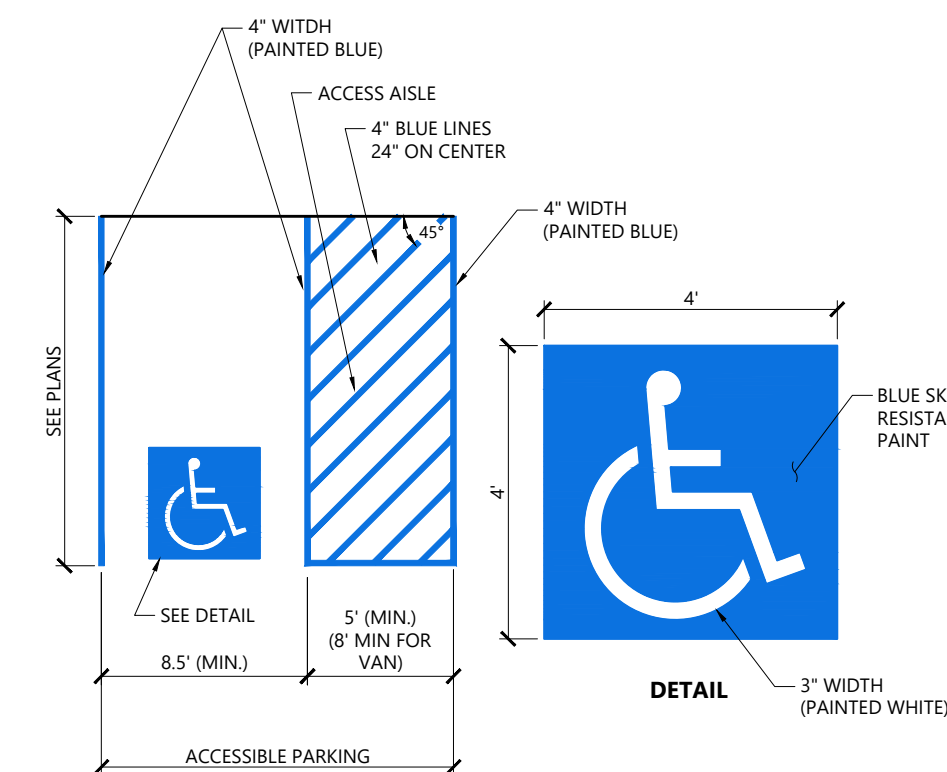
NOTE:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, BASED ON FIELD MEASUREMENTS, FOR APPROVAL PRIOR TO FABRICATION.

4' Ht. Board Fence 11/17
N.T.S. Source: VHB LD_554



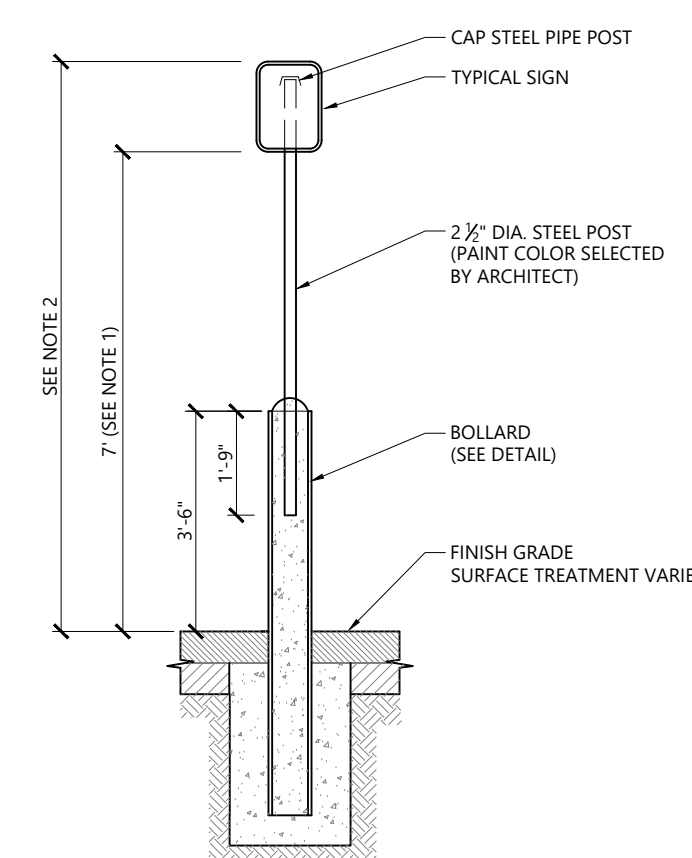
NOTES
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554



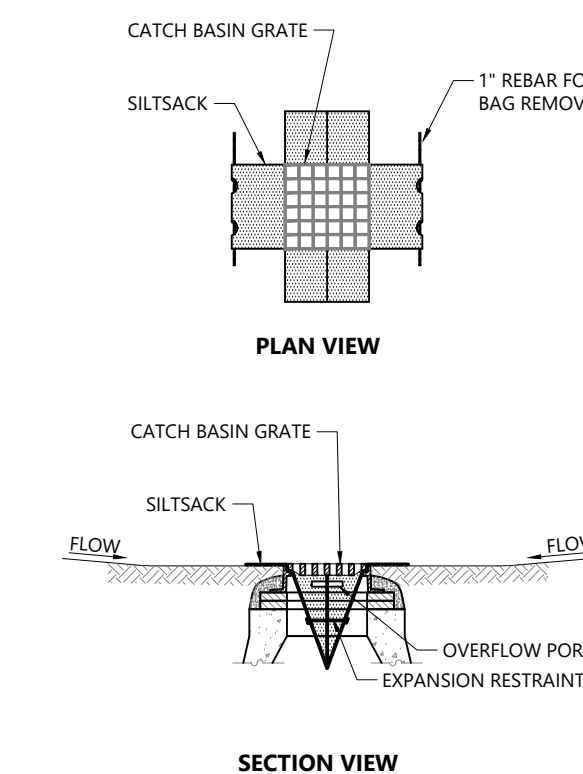
NOTES
1. ALL DIMENSIONS TO CENTER OF 4\"/>

Accessible Parking Space 12/19
N.T.S. Source: VHB LD_552B



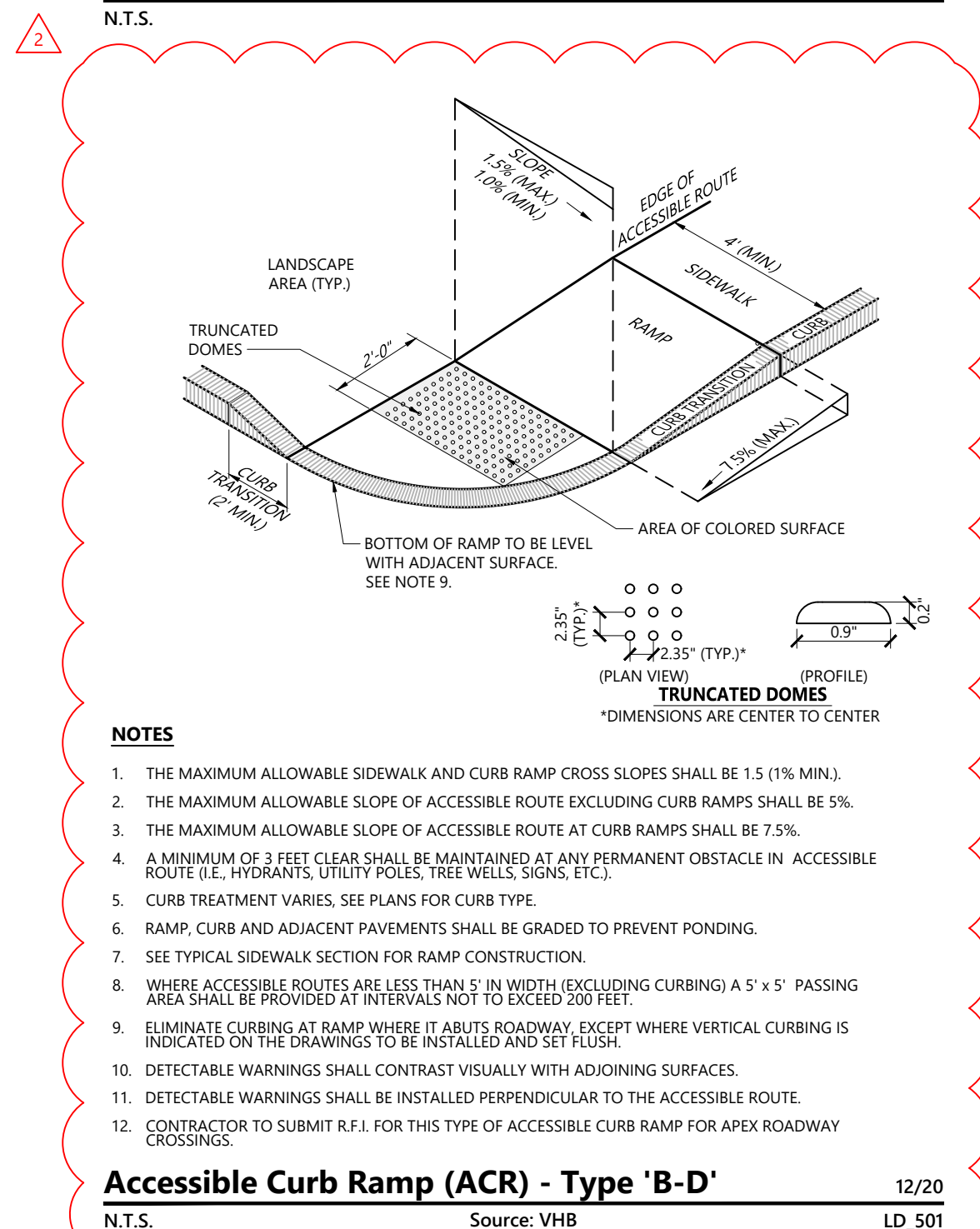
1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Bollard Mounted Sign 2/20
N.T.S. Source: VHB LD_703



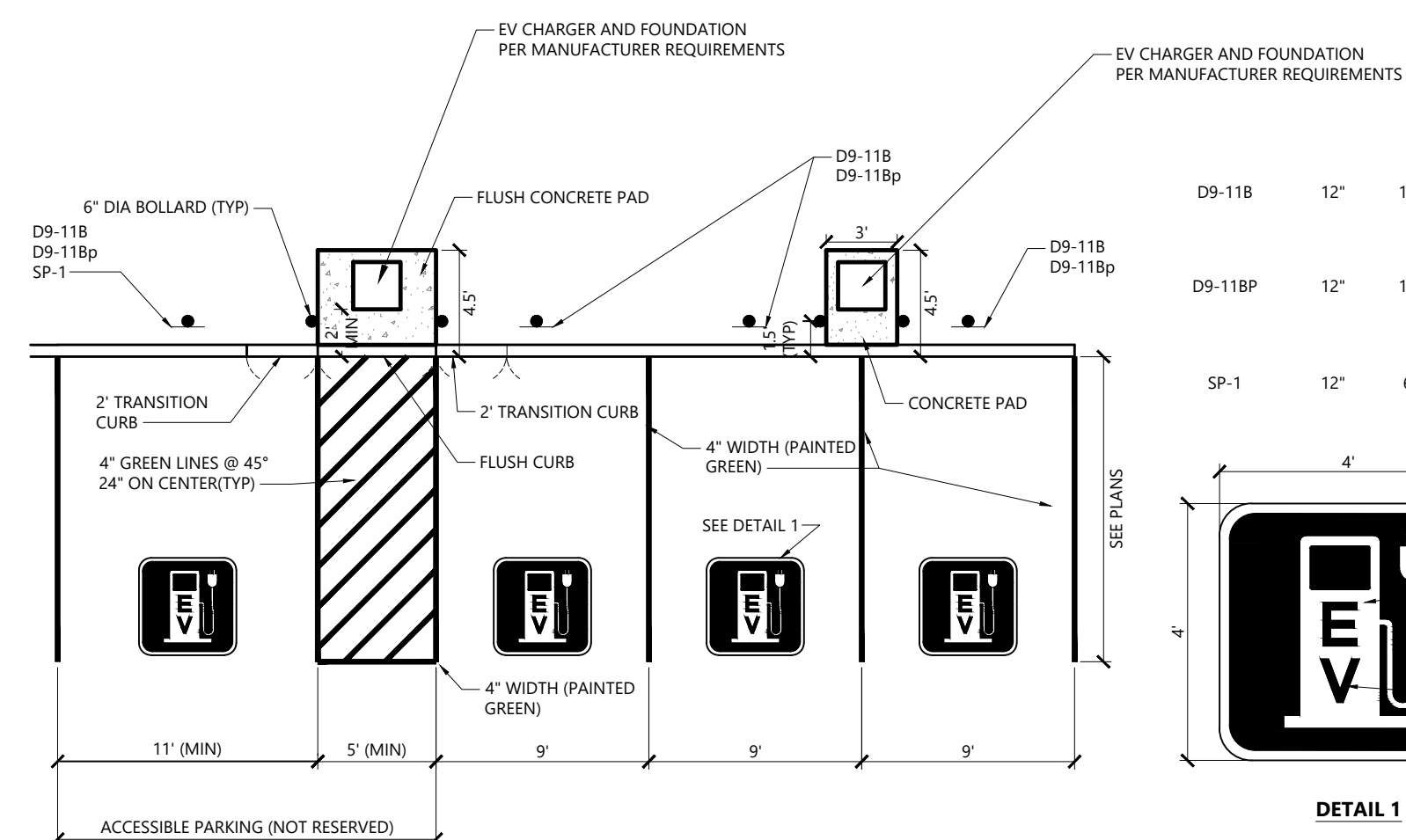
NOTES
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsack Sediment Trap 1/20
N.T.S. Source: VHB LD_674



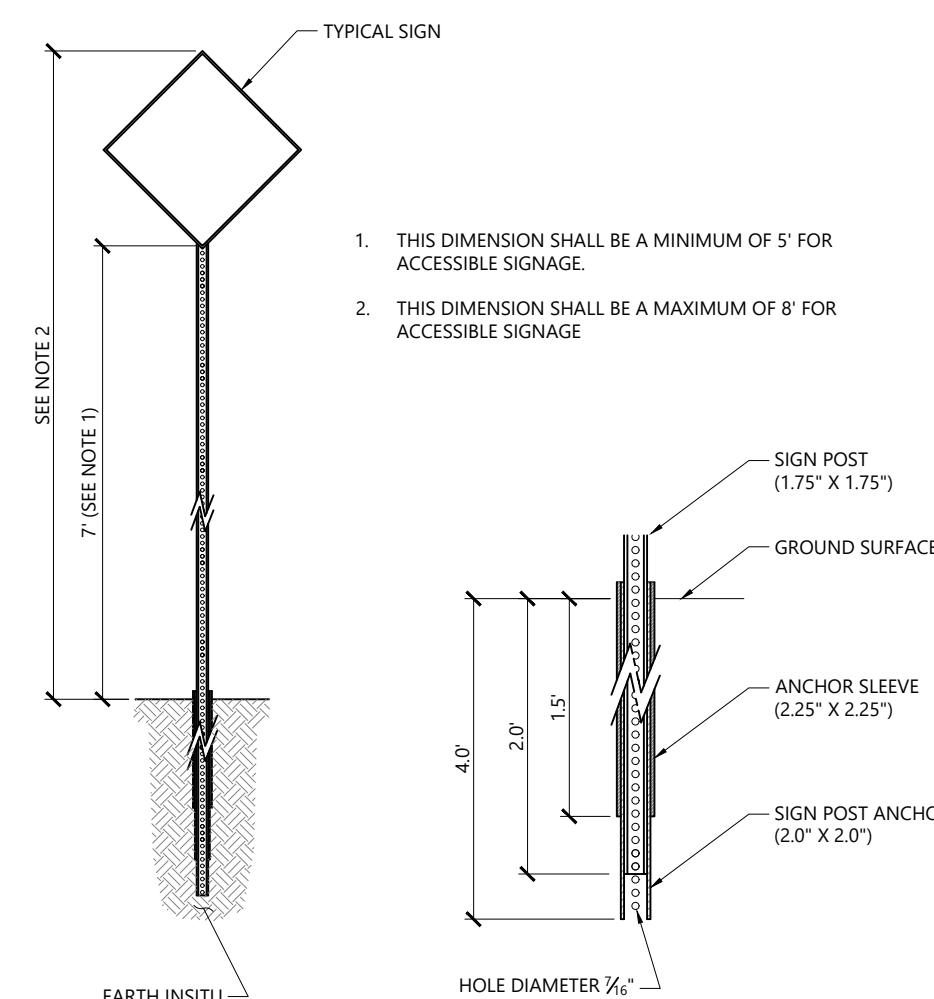
NOTES
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ADJUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) - Type 'B-D' 12/20
N.T.S. Source: VHB LD_501



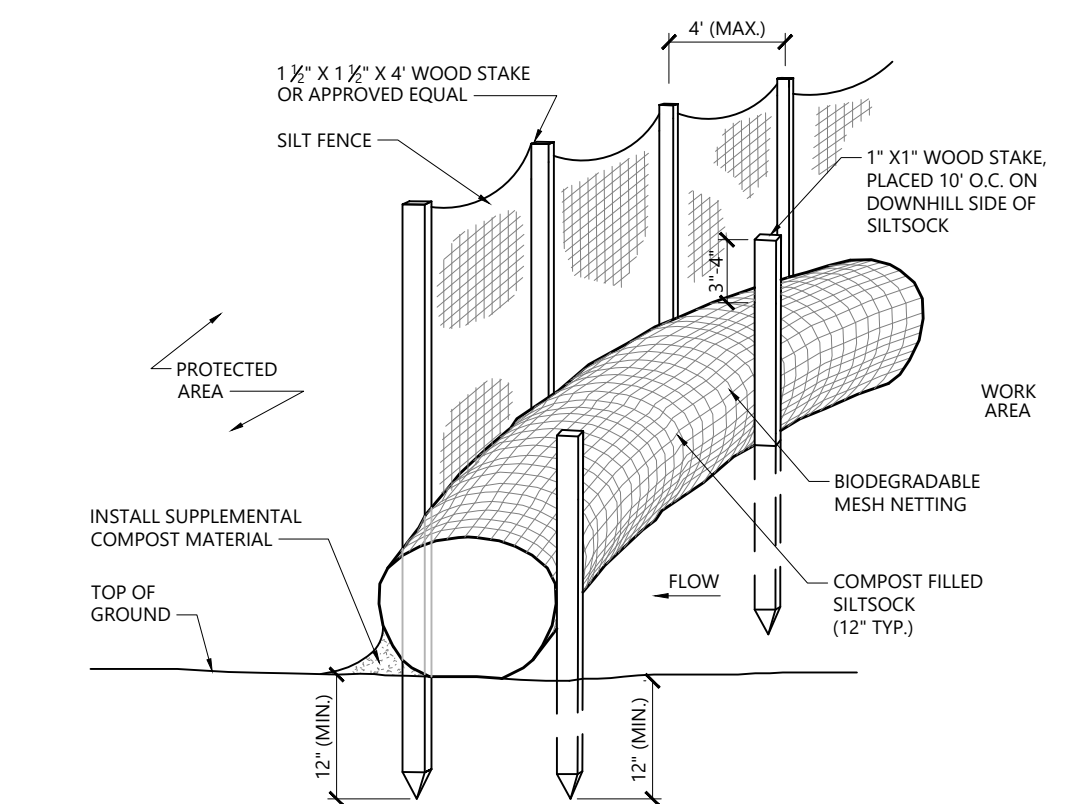
NOTES
1. ALL DIMENSION TO CENTER OF STRIPING.
2. ALL SLOPES THROUGH OUT THE ACCESSIBLE PARKING AND AISLE SHALL NOT EXCEED 1.5%.

ELECTRIC VEHICLE CHARGING SPACES ADJACENT TO LANDSCAPE AREA 02/24
N.T.S. Source: VHB LD_772



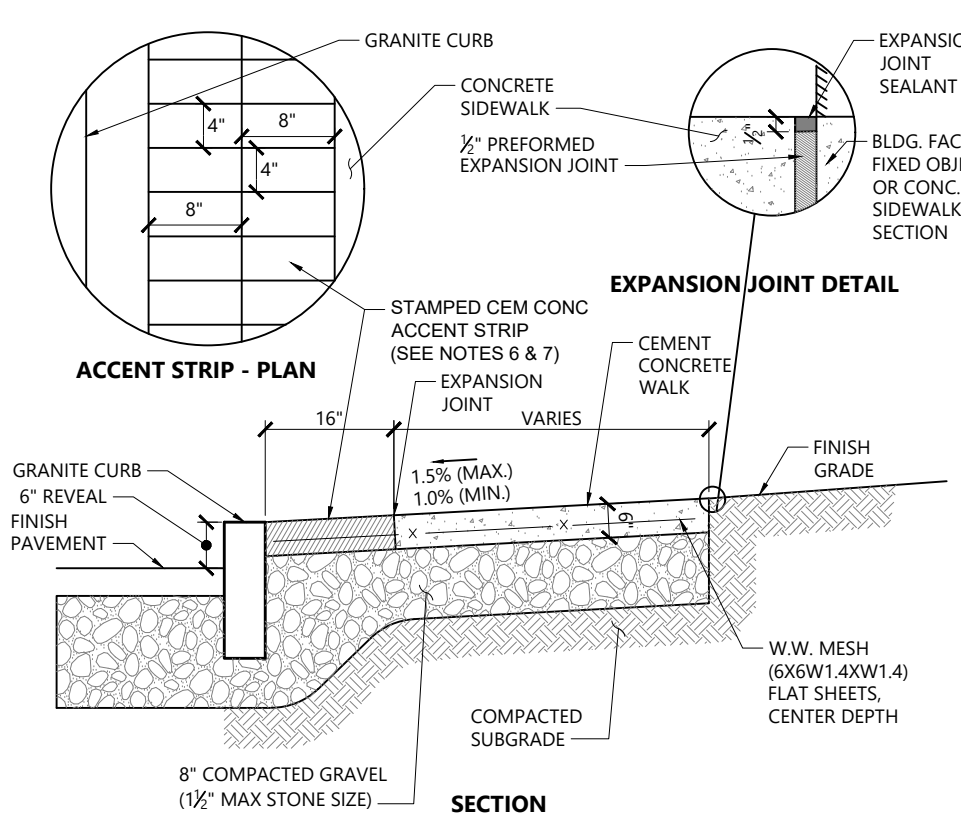
1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Sign Post - Type 'B' 3/19
N.T.S. Source: VHB LD_702



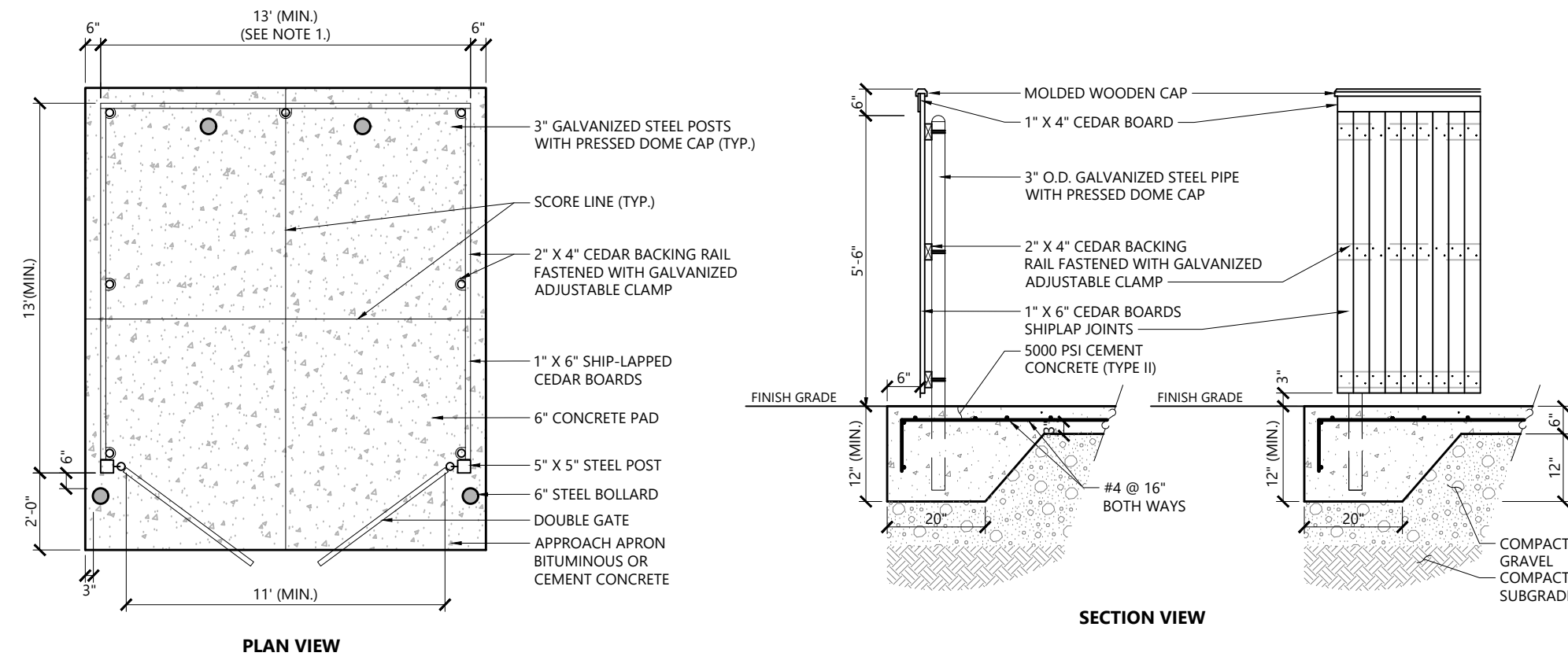
NOTES
1. SILTSOCK SHALL BE FILTEREX SILTSOCKX, OR APPROVED EQUAL.
2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsack / Silt Fence Barrier 10/20
N.T.S. Source: VHB LD_658-A



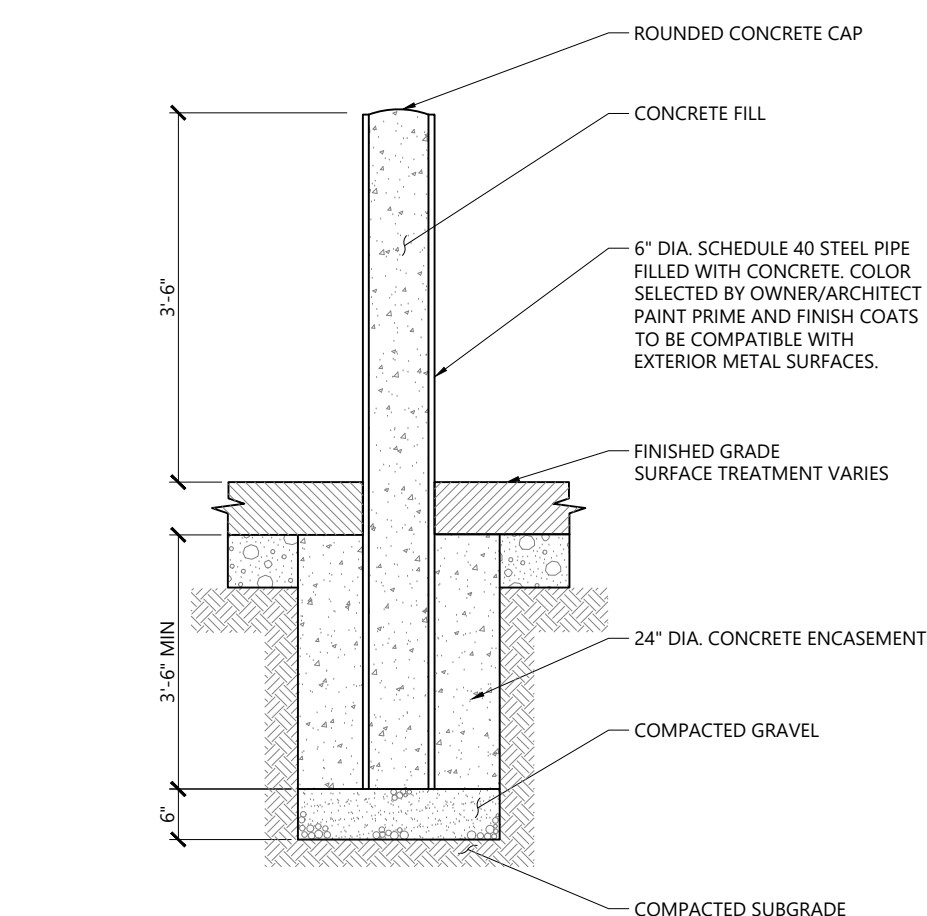
NOTES
1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5%) AIR ENTRAINED.
2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
3. PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
4. PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB ON ALL CONCRETE WALK AREAS EXCEPT ACCENT STRIP.
5. ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.
6. ACCENT STRIP SHALL BE CEMENT CONCRETE COLORED RED THROUGHOUT STAMP/IMPRINT WITH A BRICK PATTERN.
7. ACCENT STRIP SHALL BE FORMED AGAINST GRANITE CURB/CURB INLET AT THE FRONT, WOOD FORMING AT THE BACK AND SHALL BE PLACED PRIOR TO CEMENT CONCRETE WALK SURFACE OR SIDEWALK.

Concrete Sidewalk with Accent Strip 1/16
N.T.S. Source: VHB LD_554

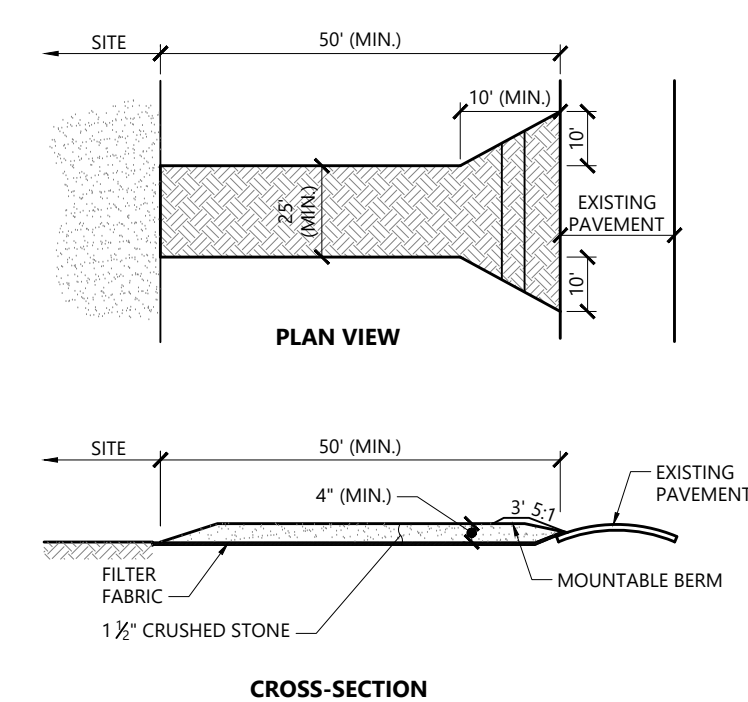


NOTES
1. DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSION.
2. PAD DESIGNED FOR 6 YARD DUMPSTER.

Dumpster Pad w/ Enclosure 1/20
N.T.S. Source: VHB LD_713



Bollard 12/19
N.T.S. Source: VHB LD_700



NOTES
1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682

Multifamily Development

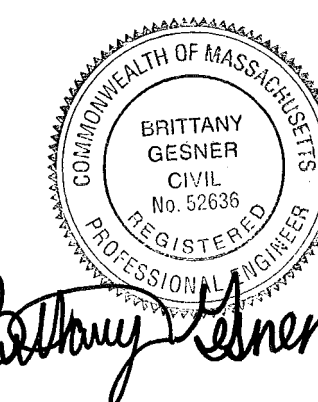
10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appr.
1	Address City Comments	08/30/2024	BMG
2	Address City Comments	10/24/2024	BMG

Designed by CSH Checked by BMG

Local Approvals July 11, 2024

Not Approved for Construction
Site Details



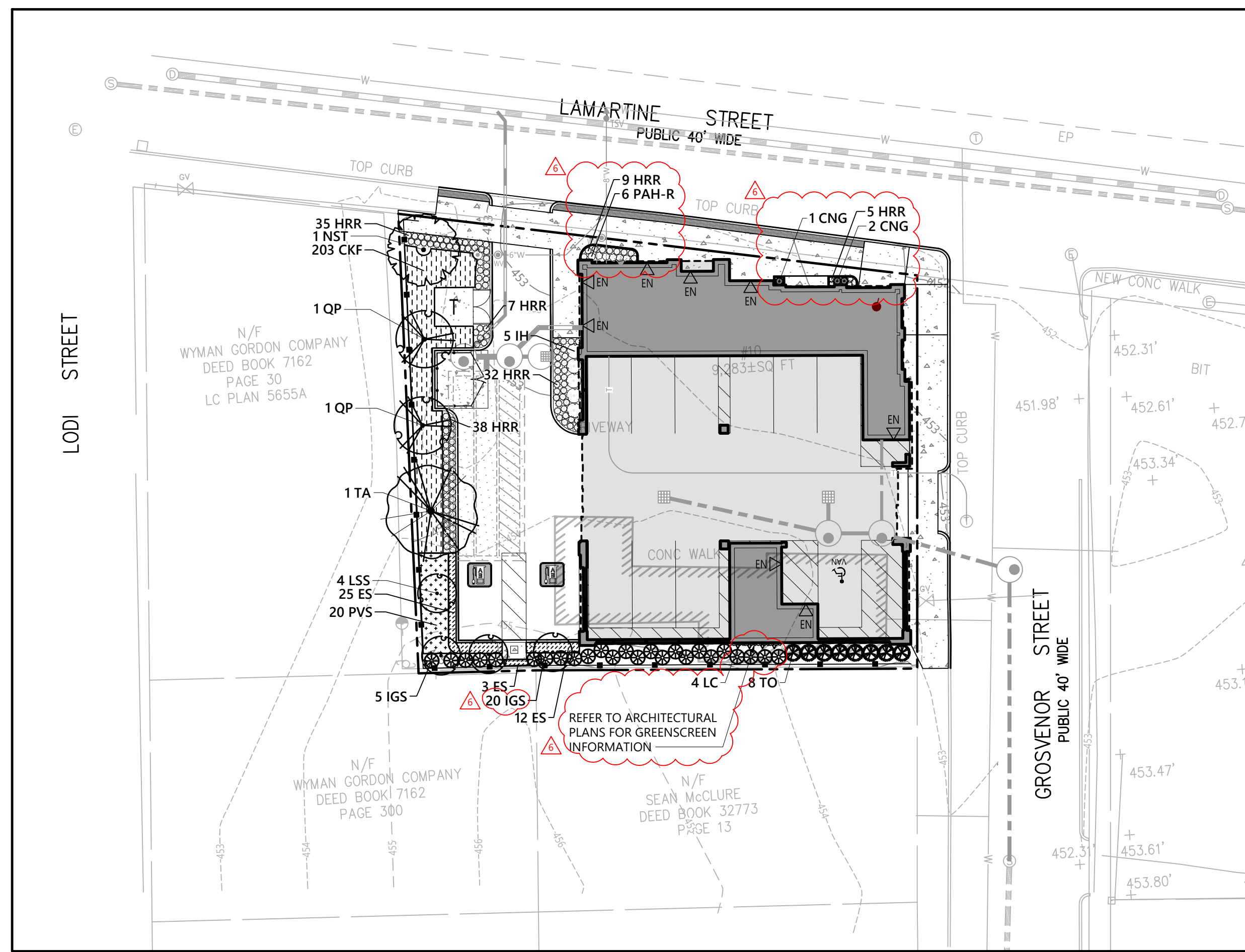
C3.02

Sheet 4 of 5

Project Number 16406.00



120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001



Planting Plan

Plant Note

- ALL TREE AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH THE ASIAN LONGHORNED BEETLE PROGRAM REQUIREMENTS. ALL NEW TREES AND SHRUB PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE AND EMERALD ASH BORER RESISTANT.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Irrigation Notes

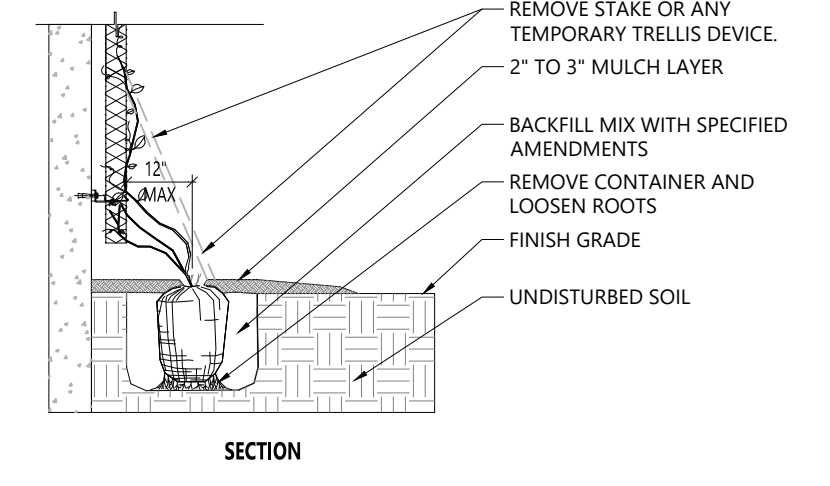
- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

Planter Notes

- PLANTERS WILL BE SPECIFIED BY OTHERS.
- ASSUMED THAT PLANTERS WILL BE HAND WATERED, WITH A SOIL DEPTH OF AT LEAST 18", AND THAT THE PLANTERS WILL BE FREE DRAINING.
- PLANTER SOIL SHALL BE A STANDARD POTTING SOIL MIXTURE.

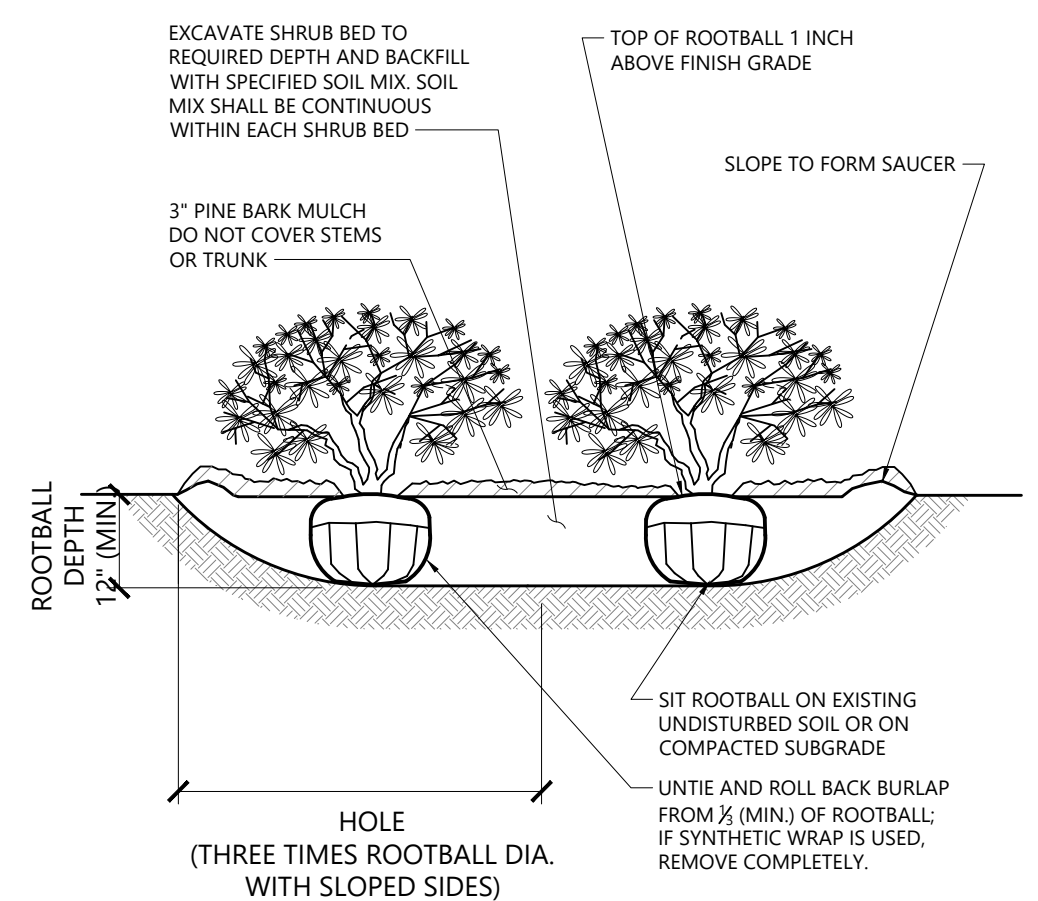
Greenscreen Notes

- GREENSCREEN WILL BE SPECIFIED BY OTHERS.



Vine Planting at Greenscreen

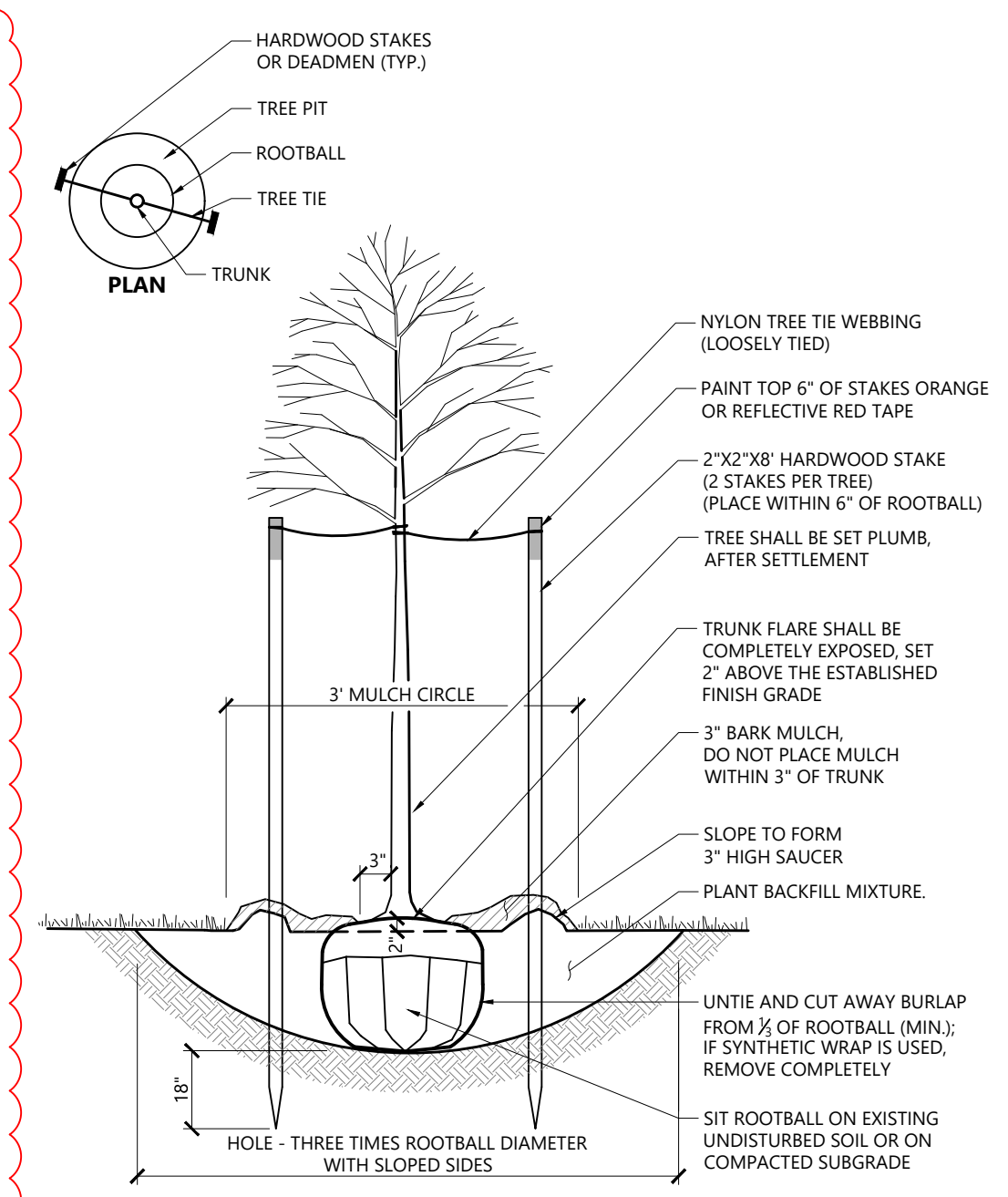
N.T.S. Source: VHB 1/16 LD_601



- NOTES**
- LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting

N.T.S. Source: VHB 1/16 LD_601

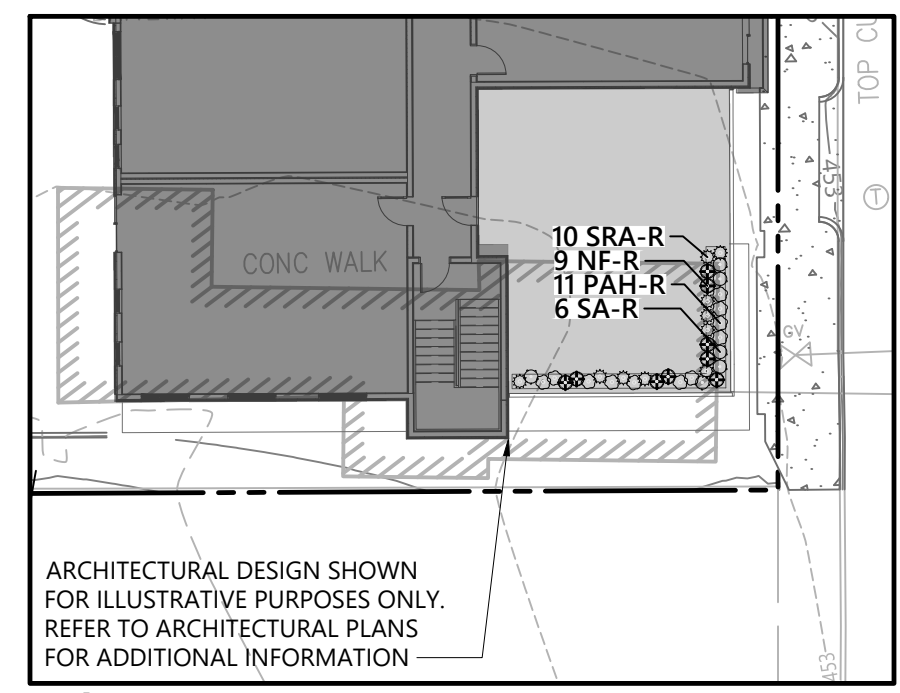


Tree Planting (For Trees Under 4" Caliper)

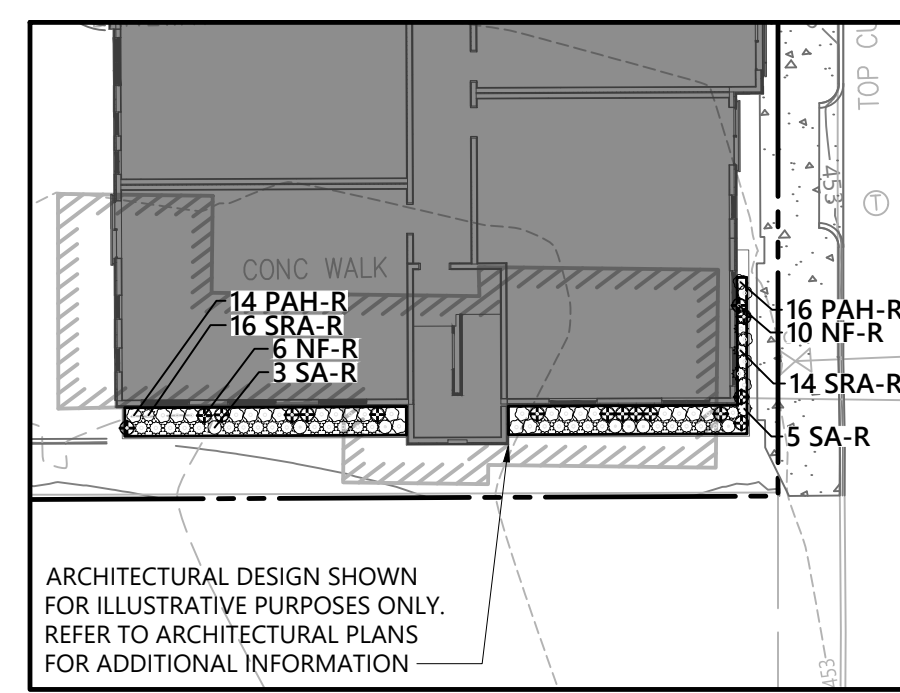
N.T.S. Source: VHB 9/21 LD_602

PLANT SCHEDULE

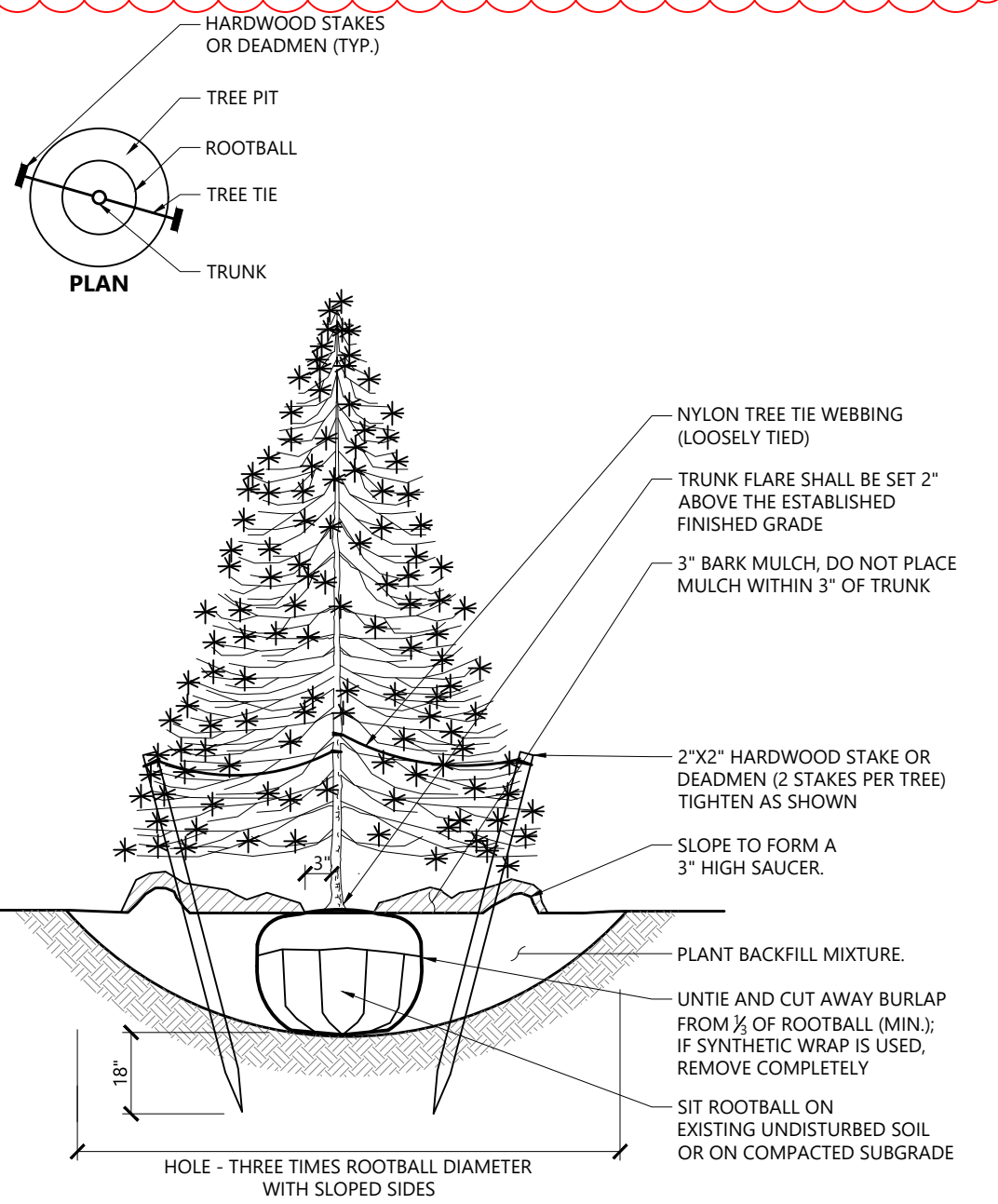
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES						
LSS		4	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum	3" CAL.	
NST		1	Nyssa sylvatica 'Tupelo Tower'	Tupelo Tower Black Gum	3" CAL.	
QP		2	Quercus palustris 'Pringreen'	Green Pillar® Pin Oak	3" CAL.	
TA		1	Tilia americana	American Linden	3" CAL.	
EVERGREEN TREES						
CNG		3	Chamaecyparis obtusa 'Nana Gracilis'	Dwarf Hinoki Cypress	3 - 4' HT.	
TO		8	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	6 - 7' HT.	
SHRUBS						
IH		5	Ilex crenata 'Helleri'	Heler Japanese Holly	18 - 24" HT.	36" o.c.
IGS		25	Ilex glabra 'Shamrock'	Shamrock Inkberry	18 - 24" HT.	36" o.c.
PERENNIALS						
HRR		126	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	#1 POT	18" o.c.
PLANTERS						
NF-R		25	Nepeta x faassenii	Catmint	#1 POT	18" o.c.
PAH-R		47	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	#1 POT	18" o.c.
SRA-R		40	Sedum rupestre 'Angelina'	Angelina Stonecrop	#1 POT	18" o.c.
SA-R		14	Sedum x 'Autumn Joy'	Autumn Joy Sedum	#1 POT	18" o.c.
VINES						
LC		4	Lonicera sempervirens	Trumpet Honeysuckle	#1 POT	36" o.c.
ORNAMENTAL GRASSES						
CKF		203	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 POT	18" o.c.
ES		40	Eragrostis spectabilis	Purple Lovegrass	#1 POT	18" o.c.
PVS		20	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT	30" o.c.



4th Floor Roof Deck Planting Plan

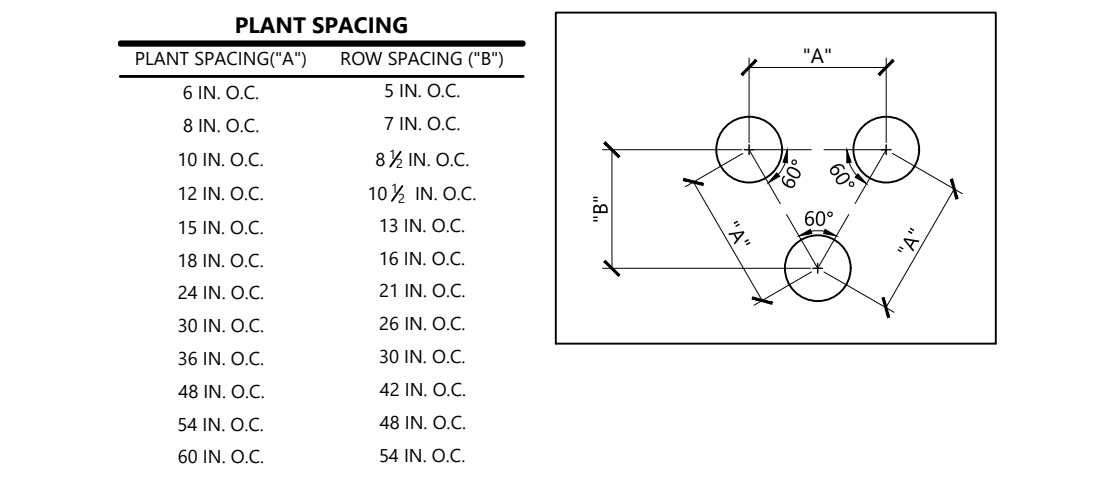


3rd Floor Planting Plan



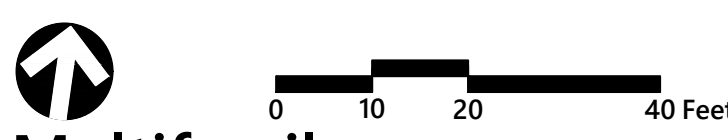
Evergreen Tree Planting

N.T.S. Source: VHB 9/21 LD_604



Perennial and Ornamental Grass Planting

N.T.S. Source: VHB 9/21 LD_602



Multifamily Development
10 Grosvenor Street
Worcester, MA

No.	Revision	Date	App'd.
1	Address City Comments	08/30/2024	BMG
2	Roof Deck Plantings	09/30/2024	BMG
3	Address City Comments	10/21/2024	BMG
4	Address City Comments	10/24/2024	BMG
5	Address City Comments	11/18/2024	BMG
6	Address City Comments	12/02/2024	BMG

Local Approvals
July 11, 2024

Not Approved for Construction
Drawing Title
Planting Plan and Details
Drawing Number



L1.01

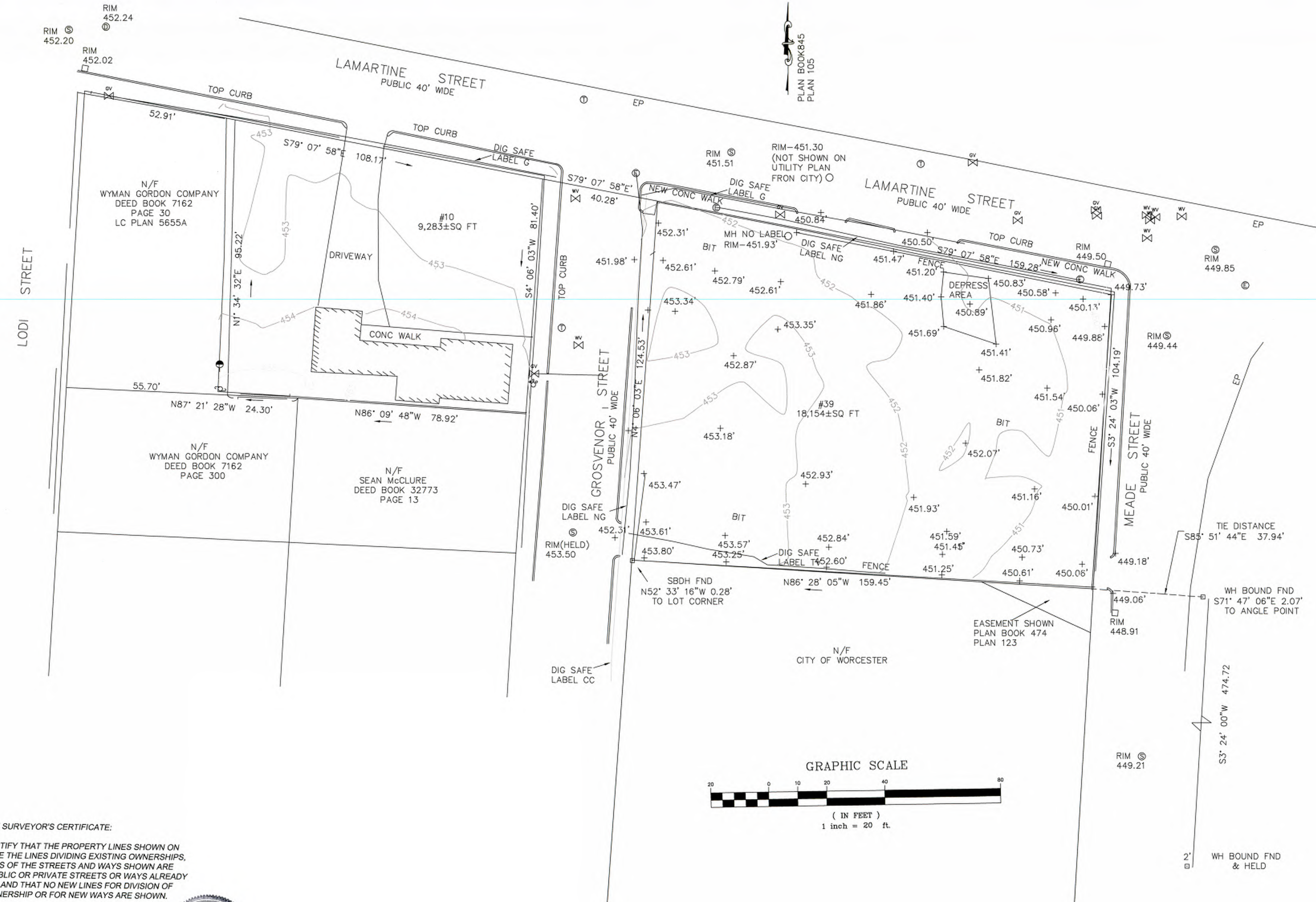
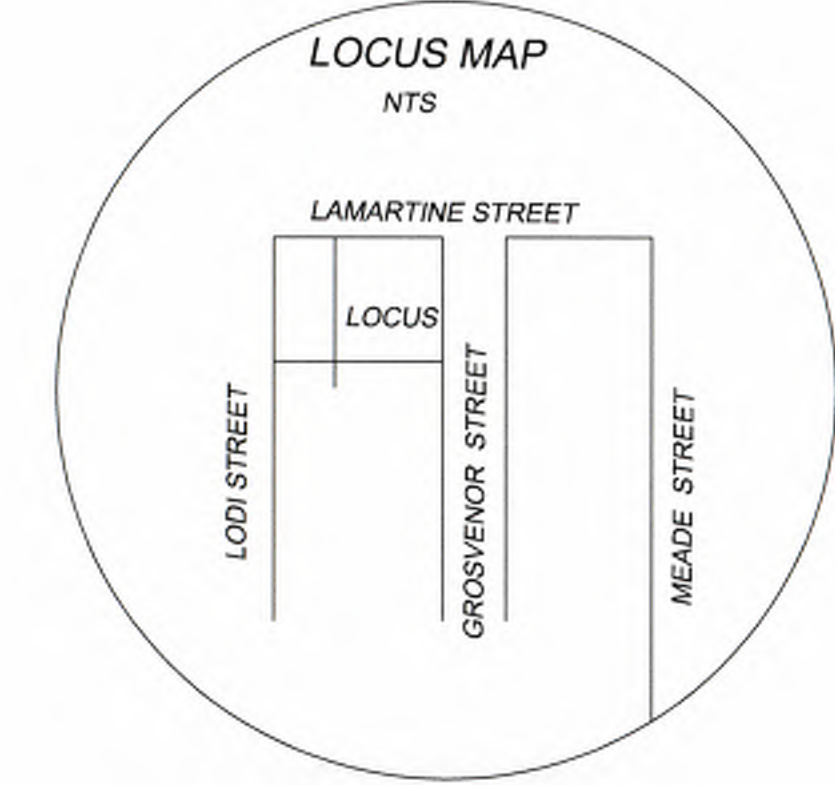
Sheet 5 of 5

Project Number
16406.00

PLAN REFERENCES

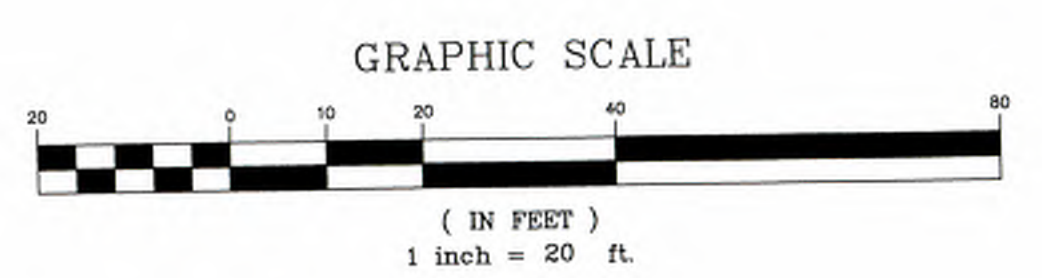
PLAN BOOK 474 PLAN 123
 PLAN BOOK 842 PLAN 40
 PLAN BOOK 845 PLAN 105
 LAND COURT PLAN 5655A

CITY OF WORCESTER PLANS
 LAMARTINE STREET (H-15 6741-1)
 MEADE STREET (H-9286)
 GROSVENOR STREET (H-9323)
 LODI STREET



- NOTES**
- 1.) DATUM TAKEN FROM SMH ON UTILITY PLAN FROM CITY OF WORCESTER
 - 2.) CONSRTUCTION ON LOTS OR LAND IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTION RESERVATIONS OR LIMITATIONS ON RECORD
 - 3.) UTILITED SHOWN ARE FROM FIELD LOCATIONS IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE SIZE, EVEVATION AND LOCATION, AND TO CONTACT "DIG-SAFE ST LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION

OWNER OF RECORD
 39 LAMARTINE STREET LLC
 DEED BOOK 66121 PAGE 389
 10 GROSVENOR STREET
 DANIEL YARNIE
 DEED BOOK 69833
 PAGE 270



MGL C41 S81X SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

2/27/24
 DATE SURVEYOR *Henry A. Gaudin*

PLAN OF LAND
 10 GROSVENOR STREET
 39 LAMARTINE STREET
 WORCESTER, MA

PREPARED FOR: DANIEL AND REBECCA YARNIE
 FEBRUARY 24, 2024 SCALE 1" = 20'

GEO / NETWORK LAND SURVEY, INC.
 645 CHANDLER STREET SUITE 7
 WORCESTER, MASSACHUSETTS 01610
 508-755-7003 FAX 508-755-8003

Luminaire Schedule					
Qty	Label	Arr. Watts	Arrangement	LLF	Description
4	G1	22.6	SINGLE	0.900	SRT1-20-3K7-5QW-UNV
2	W1	14.5	SINGLE	0.900	RWL1-48L-15-3K7-4W-U
1	W2	10.1	SINGLE	0.900	RWL1-48L-10-3K7-3-U

Calculation Summary					
Label	Units	Avg	Max	Min	Avg/Min
Site	Fc	0.38	3.0	0.0	30.0

PROPOSED MULTIFAMILY BUILDING

12 UNITS
4 STORIES
15,293± GSF



Project: 10 Grosvenor Street - Site	
Contact: Steve Johnson Applications Specialist (603) 490-2446 sjohnson@illuminate.com	Detail: Photometric Calculation Date: 08/30/2024 Revision: ---- Scale: 1" = 10'-0" Drawn By: SHJ

illuminate
263 Winn Street
Burlington, MA 01803
(781) 935-8500
333 Pleasant Valley Road
South Windsor, CT 06074
(860) 282-0597

Drawing Number:
L-1
Sheet 1 of 1