Site Plans

Issued for Date Issued Latest Issue

Local Approvals July 11, 2024 December 2, 2024

Multifamily Development

10 Grosvenor Street Worcester, MA

Owner / Applicant

Polar Views, LLC 89 West Main Street Unit 101 Northborough, MA 01590

Assessor's Map-Block-Lot: 05-014-0046A





Sheet Index			Reference Drawings	
No.	Drawing Title	Latest Issue	No.	Drawing Title
C1.01	Legend and General Notes	August 30, 2024		Existing Conditions Plan of Land
C2.01	Site Plan	December 2, 2024	L-1	10 Grosvenor Site - Photometric Calculation
C3.01	Site Details	October 24, 2024		Architectural Floor Plans
C3.02	Site Details	October 24, 2024		Architectural Elevations
L1.01	Planting Plan and Details	December 2, 2024		Architectural Perspectives
				Architectural Shadow Study

Latest Issue

February 24, 2024 August 30, 2024 November 27, 2024 November 27, 2024 November 27, 2024 October 11, 2024





120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

Architect

Maugel Destefano Architects 200 Ayer Road, Suite 200 Harvard, MA 01451 978.456.2884

Surveyor

Geo Network Land Survey 645 Chandler St Worcester, MA 01602 508.755.7003



Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK		0/0 4.0/0 4.0	
10+00	10+00	BASELINE	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 ×	132.75 ×	SPOT ELEVATION
		TOWN LINE	45.0 TW× 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATIO
			- 🔶	\bullet	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>Δ</u>		WETLAND LINE WITH FLAG	€ ^{MW}	\odot MW	MONITORING WELL
		FLOODPLAIN			
BLSF		BORDERING LAND SUBJECT			UNDERDRAIN
		TO FLOODING			DRAIN
BZ		WETLAND BUFFER ZONE		6"RD»	ROOF DRAIN
NDZ		NO DISTURB ZONE	1 <u>2</u> "S FM	12"S	SEWER
200'RA—		200' RIVERFRONT AREA		FM	FORCE MAIN
			OHW	——————————————————————————————————————	OVERHEAD WIRE
		GRAVEL ROAD	——————————————————————————————————————	——6"W ——	WATER
_EOP	EOP	EDGE OF PAVEMENT	4"FP	4"FP	FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB		G	GAS
CC	CC	CONCRETE CURB	——————————————————————————————————————	——E——	ELECTRIC
	CG	CURB AND GUTTER	STM	STM	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	T	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	FA	——FA	FIRE ALARM
CC	PCC	PRECAST CONC. CURB	CATV	CATV	CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			CABLE TV
VGC	VGC				CATCH BASIN CONCENTRIC
		VERT. GRAN. CURB			CATCH BASIN ECCENTRIC
	<u></u>	LIMIT OF CURB TYPE			DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT	_		DOUBLE CATCH BASIN ECCENTRIC
(GUTTER INLET
	_	BUILDING	D	ullet	DRAIN MANHOLE CONCENTRIC
		BUILDING ENTRANCE	D		DRAIN MANHOLE ECCENTRIC
		LOADING DOCK	=TD=		TRENCH DRAIN
0	•	BOLLARD	Ľ	Ľ	PLUG OR CAP
D	D	DUMPSTER PAD	CO	co	
-0-	-	SIGN		-	
0		DOUBLE SIGN			FLARED END SECTION
					HEADWALL
<u> </u>	<u>I</u>	STEEL GUARDRAIL	S	$\textcircled{\bullet}$	SEWER MANHOLE CONCENTRIC
	.	WOOD GUARDRAIL	S		SEWER MANHOLE ECCENTRIC
			CS ()	CS	
	= $=$ $=$ $=$	РАТН	WV	WV	CURB STOP & BOX
	\mathcal{M}	TREE LINE			WATER VALVE & BOX
×	- x x	WIRE FENCE		TSV	TAPPING SLEEVE, VALVE & BOX
	• - •-	FENCE	¢∻ _HYD	₩ HYD	FIRE DEPARTMENT CONNECTION
		STOCKADE FENCE	WM	۵. WM	FIRE HYDRANT
00000	$\infty \infty \infty \infty$	STONE WALL			WATER METER
		RETAINING WALL	en e	PIV ●	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	\bigcirc	\bigcirc	WATER WELL
		DETENTION BASIN	GG	GG O	GAS GATE
	• • • • • • • • • • • • •	HAY BALES	GM	O GM ⊡	
X	×	SILT FENCE			GAS METER
			E	● ^{EMH}	ELECTRIC MANHOLE
· · ·	· <:::::> ·	SILT SOCK / STRAW WATTLE	EM ⊡	EM ⊡	ELECTRIC METER
4	<u> </u>	MINOR CONTOUR	¢	*	LIGHT POLE
—20— —	20	MAJOR CONTOUR	Ū	● ^{TMH}	
(10)	(A)		-	-	TELEPHONE MANHOLE
(10)		PARKING COUNT	Т	Τ	TRANSFORMER PAD
_	(C10)	COMPACT PARKING STALLS	-0-	•	UTILITY POLE
DYL	DYL	DOUBLE YELLOW LINE		-	
SL	SL	STOP LINE	0-	● 1	GUY POLE
			Ц НН	Д НН	GUY WIRE & ANCHOR
			PB		HAND HOLE
	/ 1	ACCESSIBLE CURB RAMP	PB D	PB ⊡	PULL BOX
LINING CONTRACTOR CONT	کلـــلک بۇر VAN	ACCESSIBLE PARKING			

Abbreviations

General

Genera	1
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
ТҮР	TYPICAL
Utility	

CB CATCH BASIN CORRUGATED METAL PIPE CMP CO CLEANOUT DCB DOUBLE CATCH BASIN DMH DRAIN MANHOLE CIP CAST IRON PIPE COND CONDUIT DIP DUCTILE IRON PIPE FES FLARED END SECTION FORCE MAIN FM F&G FRAME AND GRATE F&C FRAME AND COVER GUTTER INLET GT GREASE TRAP HDPE HIGH DENSITY POLYETHYLENE PIPE ΗН HANDHOLE ΗW HEADWALL HYD HYDRANT INV INVERT ELEVATION INVERT ELEVATION LIGHT POLE IΡ MES METAL END SECTION PIV POST INDICATOR VALVE PWW PAVED WATER WAY PVC POLYVINYLCHLORIDE PIPE RCP REINFORCED CONCRETE PIPE **RIM ELEVATION** R= RIM= **RIM ELEVATION** SMH SEWER MANHOLE TSV TAPPING SLEEVE, VALVE AND BOX UG UNDERGROUND UP UTILITY POLE

Notes

Gei	neral	Layout and Materials
1.	CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.	 DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE O PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
	CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
	ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).	 CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO
	AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.	THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
	WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
	WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.	6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITI
	UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH	Demolition
	THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILIT
	TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.	POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
	AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	 EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
	IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER	3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
11.	IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING T BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEME OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF
12.	RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
13.	CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	 UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGIN HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR
	ities	POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY
	THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT	CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBEST OR OTHER HAZARDOUS MATERIALS.
	GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING	Erosion Control
	CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	 PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIAT AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
	WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS	2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE
	INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR	CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HO OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3.	ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH	 CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4.	ELEVATIONS ON THE GRADING AND UTILITY PLANS. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND	 CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZE TO PREVENT EROSION.
	SHALL BE SET/RESET AS FOLLOWS: A. PAVEMENTS AND CONCRETE SURFACES: FLUSH	 UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIME AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
	 B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE 	Existing Conditions Information
5.	SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY	 BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY GEO NETWORK LAND SURVEY, AN FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL
	SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	FIELD SURVEY PERFORMED ON THE GROUND BY GEONETWORK LAND SURVEY, DURING FEBRUARY 2 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD88
6.	CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE	Document Use
	ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	 THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZI
7.	UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: A. WATER PIPES SHALL BE DUCTILE IRON (DI)	USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
	A. WATER PIPES SHALL BE DUCTILE IRON (DI)B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE	2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT
	 C. STORM DRAINAGE PIPES SHALL BE 1: 8" PIPE BETWEEN CATCH BASINS AND MANHOLES: SDR-18 2: 12" OR GREATER PIPE: HIGH DENSITY POLYETHYLENE (HDPE) 3: PIPES LOCATED WITHIN CITY RIGHT-OF-WAY: REINFORCED CONCRETE PIPE (RCP) 	 FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS. 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE
	4: 6" AREA DRAIN PIPE: HIGH DENSITY POLYTHYLENE (HDPE)D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO	CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHO DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
	BEGINNING WORK. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION,	
	INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.	
	CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.	
	ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY	

nd Materials

OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER F PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, ERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR NTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF MAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS L AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO TRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT NG THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS R HAZARDOUS MATERIALS.

ontrol

CTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS JM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS CTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

Conditions Information

120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

Multifamily Development

10 Grosvenor Street Worcester, MA

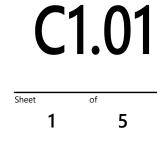
No.	Revision	Date	Appvd.
1	Address City Comments	08/30/2024	BMG
Design		Checked by	
	CSH	BI	MG
Issued	for	Date	

Local Approvals

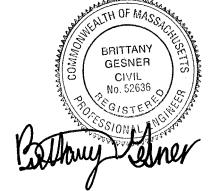
Not Approved for Construction

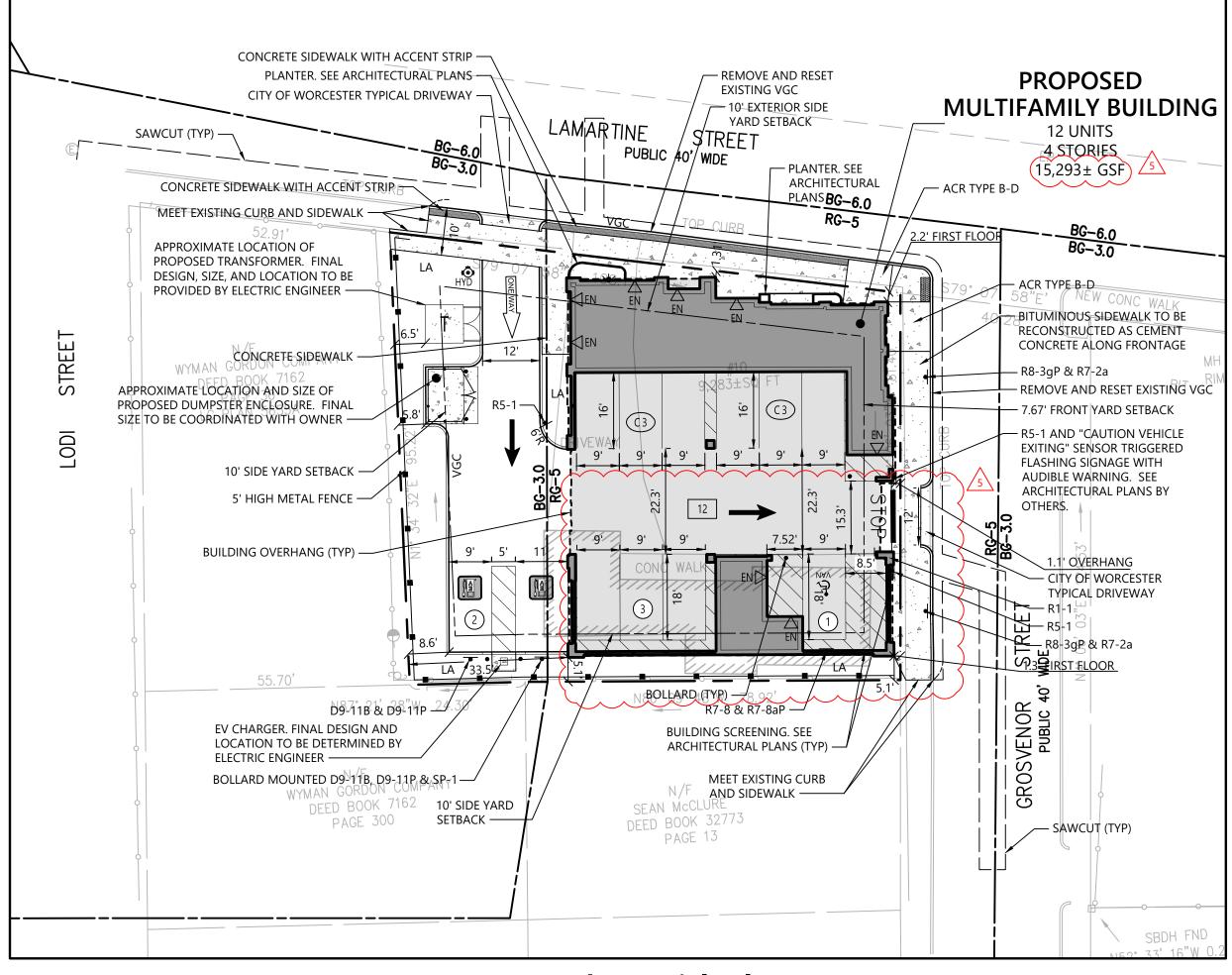
Legend and General Notes

Drawing Number



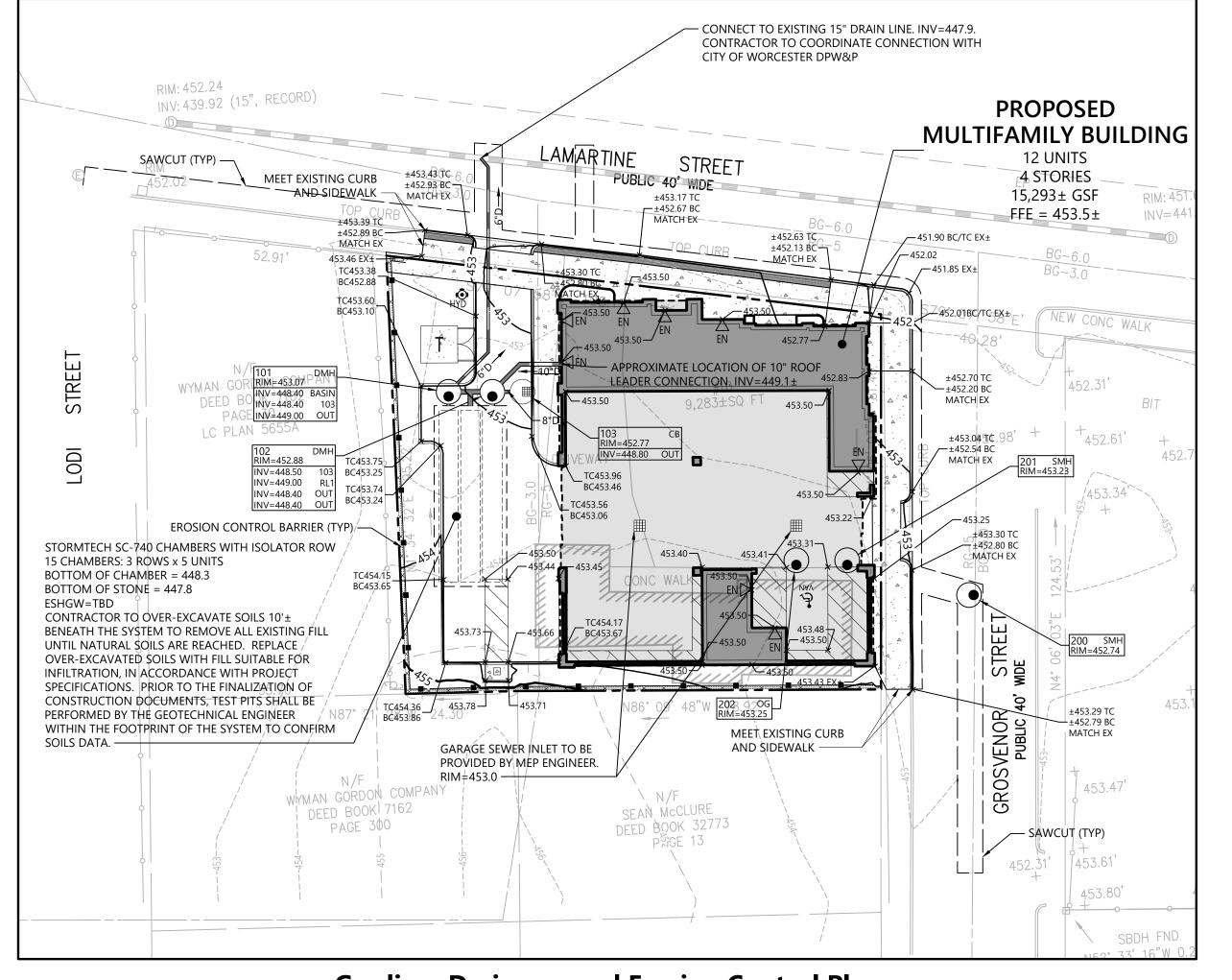
July 11, 2024





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Layout and Materials Plan



Grading, Drainage, and Erosion Control Plan



<u> </u>		- J	
M.U.T.C.D.	M.U.T.C.D. Specification		Dese
Number	Width	Height	Desc.
R1-1	30"	30"	STOP
R5-1	30"	30"	DONOT ENTER
R7-2a	12"	18"	NO PARKING 8:00 AM TO 8:00 PM
R7-8	12"	18"	RESERVED PARKING
R7-8aP	12"	6"	VAN
R8-3gP	12"	12"	
D9-11B	12"	18"	F
D9-11BP	12"	12"	ELECTRIC Vehicle Charging
SP-1	12"	6"	USE LAST DESIGNED FOR ACCESSBILITY

Zoning Summary Chart

Zoning District(s):	Residence, General (RG-5), & Business, General (BG-3.0)				
Overlay District(s):	N/A				
Zoning Regulation Requirements	Required (RG-5) ¹	Eligible Development Reduction ²	Provided		
MINIMUM LOT AREA	13,250 SF ³	11,262.5 SF ⁴	9,283± SF		
MINIMUM FRONTAGE ⁵	100 Feet ⁶	96 Feet ⁷	81.4 Feet		
FRONT YARD SETBACK ⁵	7.67 Feet ⁸	-	1.1 Feet ⁹		
EXTERIOR SIDE YARD SETBACK ⁵	10 Feet	-	1.31 Feet ⁹		
SIDE YARD SETBACK ⁵	10 Feet	-	5.1 Feet ⁹		
MAXIMUM BUILDING HEIGHT	90 Feet	-	49 Feet 10 Inches		
MAXIMUM BUILDING HEIGHT	8+ Stories	-	4 Stories		
MAXIMUM FRONT YARD IMPERVIOUS AREA	50 %	-	93 %		
MAXIMUM EXTERIOR SIDE YARD IMPERVIOUS AREA	50 %	-	94 %		

Zoning District(s):	Residence, General (F	RG-5), & Business, C	General (BG-3.0)		
Overlay District(s):	N/A				
Zoning Regulation Requirements	Required (RG-5) ¹	Eligible Development Reduction ²	Provided		
MINIMUM LOT AREA	13,250 SF ³	11,262.5 SF ⁴	9,283± SF		
MINIMUM FRONTAGE ⁵	100 Feet ⁶	96 Feet ⁷	81.4 Feet		
FRONT YARD SETBACK ⁵	7.67 Feet ⁸	-	1.1 Feet ⁹		
EXTERIOR SIDE YARD SETBACK ⁵	10 Feet	-	1.31 Feet ⁹ /5		
SIDE YARD SETBACK ⁵	10 Feet	-	5.1 Feet ⁹		
MAXIMUM BUILDING HEIGHT	90 Feet	-	49 Feet 10 Inches		
MAXIMUM BUILDING HEIGHT	8+ Stories	-	4 Stories		
MAXIMUM FRONT YARD IMPERVIOUS AREA	50 %	-	93 %		
MAXIMUM EXTERIOR SIDE YARD IMPERVIOUS AREA	50 %	-	94 %		
1. Zoning regulation requirements as specified in the City of Worcester Zoning Ordinance, dated April 2, 1991 as amended through May 9, 2023.					
2. The project is an Eligible Development per Article VII Section	on 6, and can reduce the dimensional	requirements by 15% in RG-5 dist	tricts.		
3. Within the RG-5 district, required lot area based on 12 dw	elling units is 13,250 SF. (5,000 SF + (75	50 SF x 11 DU) = 13,250 SF).			
4. With the Eligible Development Reduction (15%), required	lot area based on a 15% reduction of 1	3,250 SF is 11,262.5 SF. (13,250 x	0.85 = 11,262.5 SF).		
5. The lot is a corner lot has identified Grosvenor Street as its	s front lot line. Lamartine St. is conside	red a exterior side lot line.			
6. Within the RG-5 district, required frontage based on 12 du limitation from Table 4.2 of the Zoning Ordinance.	velling units is 100 Feet (50 Feet + (5 Fe	eet x 11 DU) = 105 Feet) which ex	ceeds the 100 feet		
7. With the Eligible Development Reduction (15%), required frontage based on a 15% reduction of the total number of dwelling units is 96 Feet. (12 DU x 0.85) = 10.2 DU. 50' + (9.2 DU x 5') = 96'					
8. The required front yard setback is based on Note 6 of Table 4.2 which provides that the average front yard setback of the existing buildings fronting on the same street and block within 150 feet shall be the required front yard setback. (12 Grosvenor St. = 5.75'; 16 Grosvenor St. = 3.75'; 20 Grosvenor Street = 13.5'; 5.75' + 3.75' + 13.5' = 23' ÷ 3 = 7.67').					
9. No building is proposed within the BG-3.0 District. As suc	h, only the RG-5 required setbacks app	oly.			
10. Regularity Factor for 10 Grosvenor Street = (16 x 9,283 sf	10. Regularity Factor for 10 Grosvenor Street = $(16 \times 9,283 \text{ sf}) \div 388.02^2 = 0.987$				

Parking Summary Chart

		Size		Spaces		
	Description	Required	Provided	Existing	Required	Provided
	STANDARD SPACES	9 x 18	9 x 18	2	-	3
	COMPACT SPACES (25% ALLOWED, 50% WITH SP)	8 x 16	8 x 16	-	-	6
	STANDARD ACCESSIBLE SPACES ¹	8 x 18	-	-	-	0
	VAN ACCESSIBLE SPACES ²	8 x 18	9 x 18	-	-	1
	STANDARD ELECTRIC VEHICLE SPACES ³	9 x 18	9 x 18	-	-	1
24 SPACES	ELECTRIC VEHICLE SPACES (DESIGNED TO	11 x 18	11 x 18	-	-	1
- 3 SPACES	BE ACCESSIBLE) ⁴					
- 5 SPACES	TOTAL SPACES			2	12	12
- 4 SPACES	1. REQUIRED ACCESSIBLE SPACES IS BASED ON 10	TOTAL SPACES PR	OVIDED PER MAA	B (1 ACCESSIBLE S	SPACE REQUIRED)	
12 SPACES	2. REQUIRED ACCESSIBLE VAN SPACES IS BASED O DESIGNATED VAN ACCESSIBLE STALL PER MAAB =		SIBLE SPACES PRO	VIDED. (ONE IN E	VERY EIGHT SPACE	ES SHALL BE A
OTAL ION OF 12	3. REQUIRED ELECTRIC VEHICLE SPACES IS BASED (ELECTRIC VEHICLE SPACES)	ON 10 TOTAL SPAC	ES PROVIDED. (20	0% OF 10 SPACES	= 2 SPACES REQU	IRED TO BE
	4. REQUIRED ELECTRIC VEHICLE SPACES DESIGNED TOTAL SPACES = 1 ACCESSIBLE SPACE PER MAAB)	TO BE ACCESSIBL	E IS BASED ON 2 T	OTAL ELECTRIC V	EHICLE SPACES PR	OVIDED. (2

TOTAL PARKING REQUIRED = 12 SPACES * THE 50% SPECIAL PERMIT REDUCTION OF 4 SPACES IS BASED ON A TOTAL

12 UNITS x 2 SPACES / 1 UNIT = 24 SPACES

Parking Requirements:

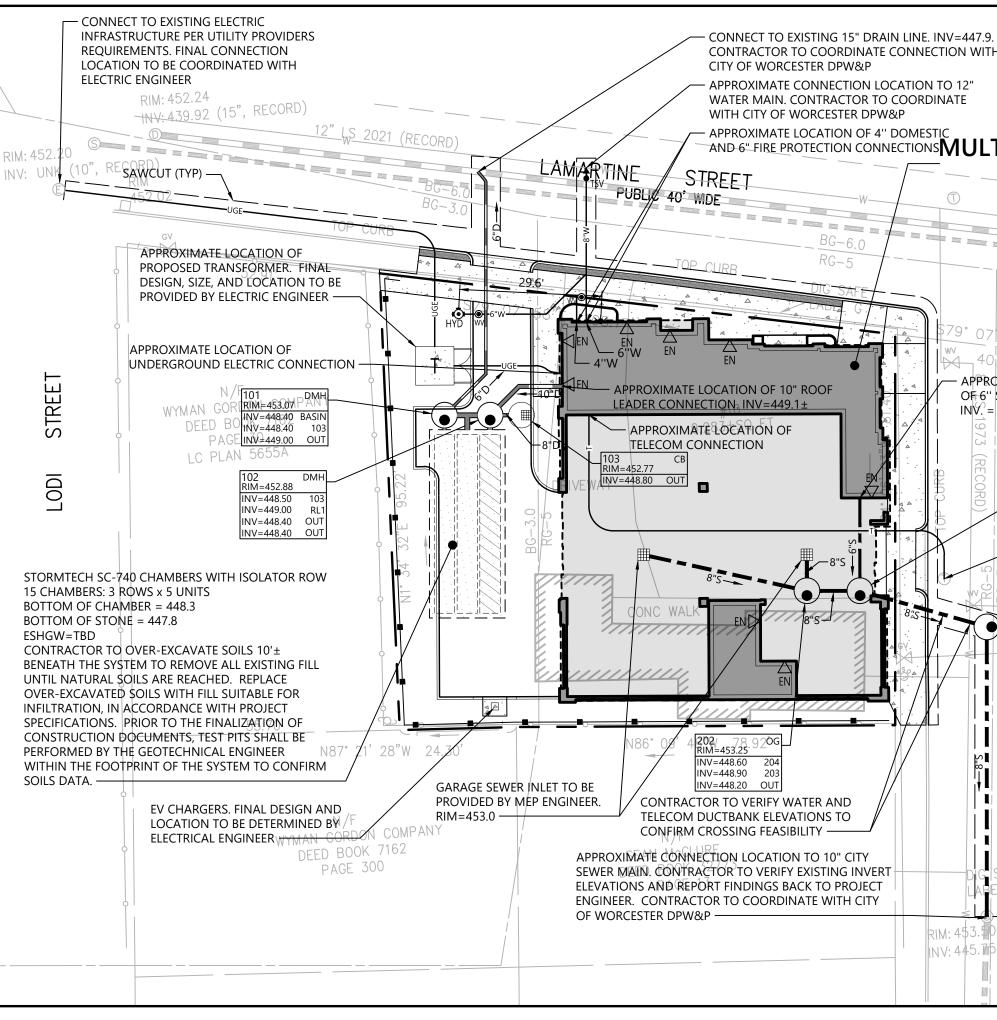
15% DENSITY BONUS REDUCTION

50% SPECIAL PERMIT REDUCTION 7

25% ELIGIBLE DEVELOPMENT REDUCTION

RESIDENTIAL

SPACES REQUIRED BEING 24 SPACES, WHICH ALLOWS A TOTAL REDUCTION OF 12 SPACES.



Utility Plan

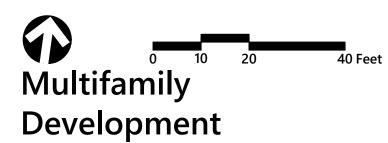
CONTRACTOR TO COORDINATE CONNECTION WITH PROPOSED - APPROXIMATE LOCATION OF 4" DOMESTIC AND 6" FIRE PROTECTION CONNECTIONS MULTIFAMILY BUILDING 12 UNITS **4 STORIES** 15,293± GSF RIM: 4 EFE = 453.5± RIM: 45 INV: 441. NEW CONC WALK – APPROXIMATE LOCATION OF 6" SANITARY SEWER CONNECTION INV. = 449.5'± INV=448.00 INV=448.80 INV=446.80 CONNECT TO EXISTING TELECO INFRASTRUCTURE PER UTILITY PROVIDERS REQUIREMENTS. FINAL CONNECTION LOCATION TO BE COORDINATED WITH ELECTRIC ENGINEER STRE RIM=452.74 INV=446.50 201 INV=446.40 OUT OS | - SAWCUT (TYP RIM: 453.50(NV: 445.05 SBDH FND



Worcester, MA 01608 508.752.1001

Notes

- 1. STABILIZED CONSTRUCTION EXIT TO BE FIELD LOCATED AT LIMIT OF DISTURBANCE.
- 2. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM EROSION AND SEDIMENTATION CONTROLS IN PLACE DURING CONSTRUCTION ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF WORCESTER REQUIREMENTS.
- 3. SILT SACKS SHALL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS ONLINE DURING CONSTRUCTION.



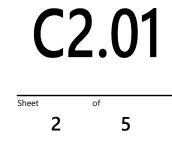
10 Grosvenor Street Worcester, MA

No.	Revision	Date	Appvd.
1	Address City Comments	07/11/2024	BMG
2	Address City Comments	08/30/2024	BMG
3	Address City Comments	10/24/2024	BMG
4	Address City Comments	11/18/2024	BMG
5	Address City Comments	12/02/2024	BMG

Designed by CSH	
Issued for	
Local Approvals	

Not Approved for Construction

Site Plan



Checked by

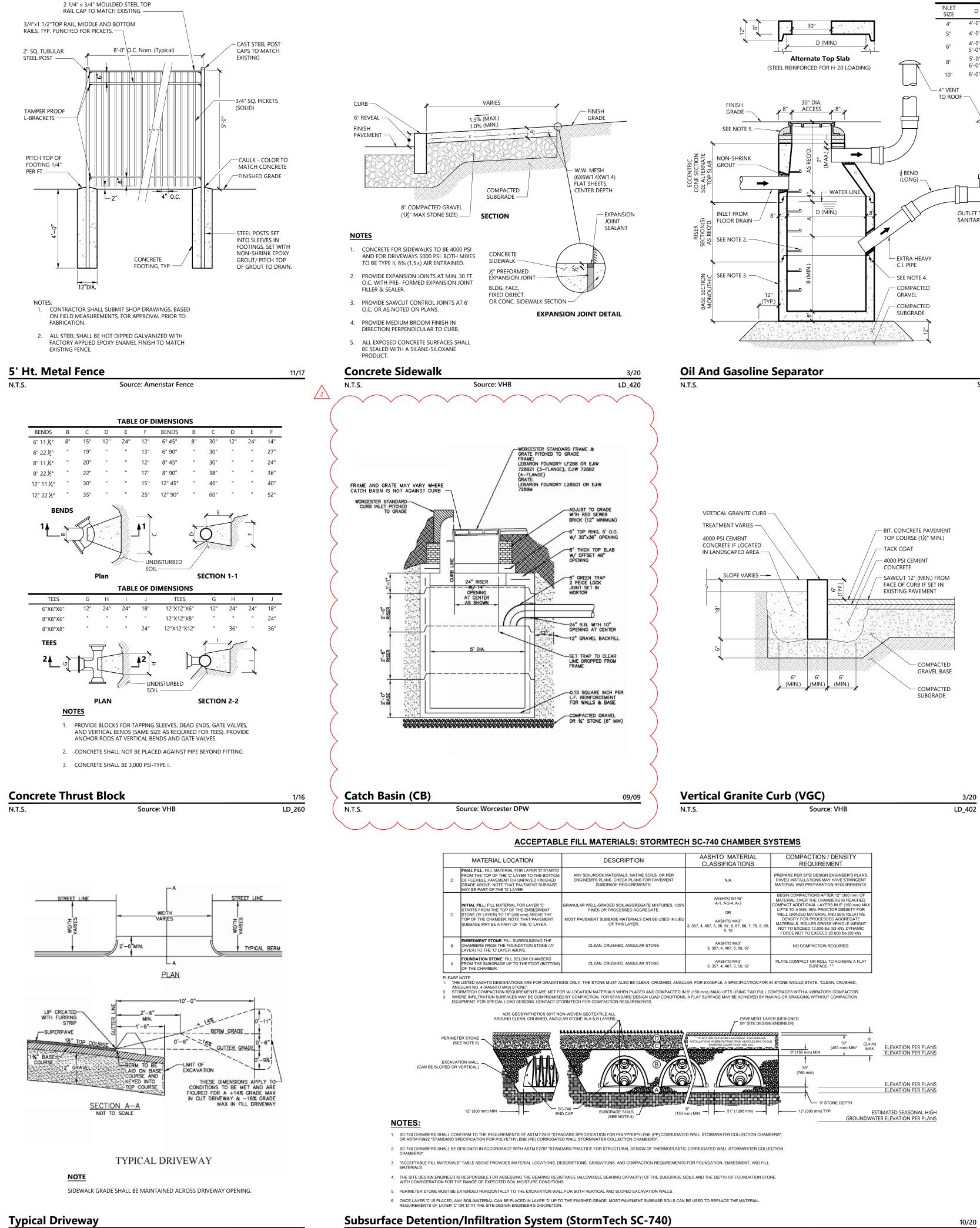
BMG

July 11, 2024

BRITTANY GESNER CIVIL No. 52636

Project Number 16406.00

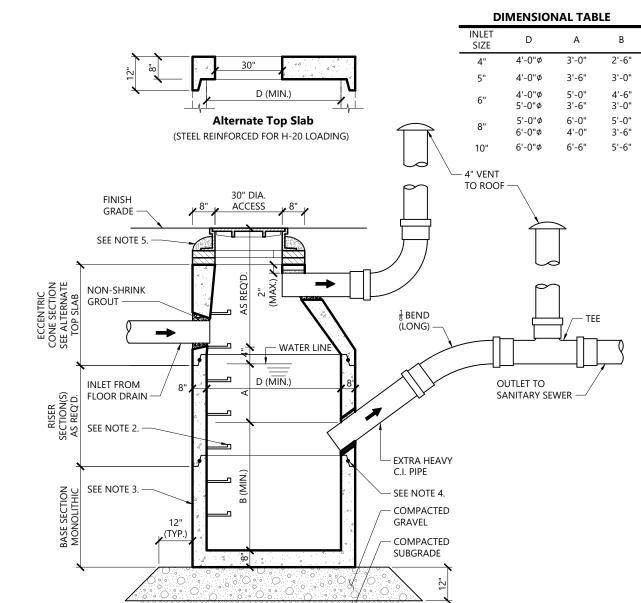
Drawing Number



N.T.S.

N.T.S.

Source: City of Worcester



- 1. STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
- 3. EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
- 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER. 5. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
- 6. STRUCTURE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE.
- 7. THE STRUCTURE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
- 8. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE. 9. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST
- THREE FEET BELOW THE SURFACE. 10. THE NEW SEPARATOR MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
- 11. OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE STORM DRAIN THROUGH OTHER FIXTURES.
- 12. SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
- 13. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS
- APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A. 14. ALL PIPING AND VENT MATERIAL TO BE EXTRA HEAVY CAST IRON OR DUCTILE IRON.
- 15. FINAL DESIGN OF OIL AND GAS SEPERATOR TO BE BY PLUMBING ENGINEER.
- 16. THE INSTALLATION OF OIL AND GAS SEPERATOR, THE PIPING TO AND 10 FEET BEYOND IS BY PLUMBER.



	AASHTO MATERIAL	COMPACTION / DENSITY
DESCRIPTION	CLASSIFICATIONS	REQUIREMENT
OIL/ROCK MATERIALS, NATIVE SOILS, OR PER IEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. EMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	OR	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN '6' (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (33 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
CLEAN, CRUSHED, ANGULAR STONE	AASHTO M431 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2 3}
HE STONE MUST ALSO BE CLEAN, CRUSHED, ANGU	LAR. FOR EXAMPLE, A SPECIFICATION FOR #	4 STONE WOULD STATE: "CLEAN, CRUSHED,

PAVEMENT SECTION LANDSCAPED AREA ORDINARY BORROW COMPACTED GRANULAR FILL -SAWCUT -- DEPTH AND SURFACE TREATMENT VARIES WARNING TAPE HAND TAMPED HAUNCHING COMPACTED BEDDING ¹⁹MIN COMPACTED SUBGRADE NOTES 1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS. 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

PAVED AREA

SEE APPLICABLE

3. COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY

Source: VHB

Utility Trench

3/20

10/20

LD_182-740

Source: VHB

N.T.S.

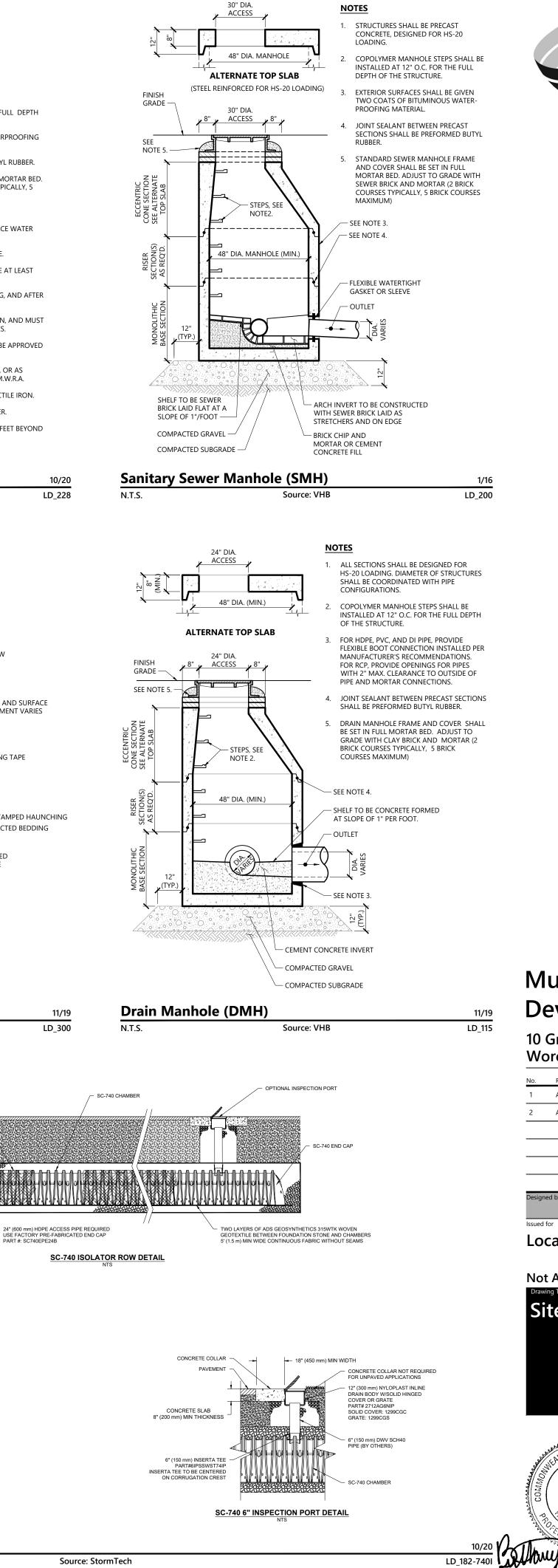
ENGINEER.

COVER ENTIRE ISOLATOR ROW WITH AD GEOSYNTHETICS 601T NON-WOVEN GEOTEXT 8' (2.4 m) MIN WIDE

CATCH BASIN OR MANHOLE 24" SUMP DEPTH

Source: StormTech

Source: StormTech





120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

Multifamily Development

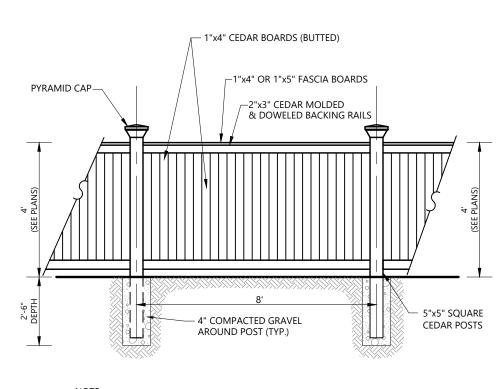
10 Grosvenor Street Worcester, MA

Address City Comments Address City Comments	08/30/2024	BMC
Address City Comments	10/24/2024	
	10/24/2024	BMC
CSH	Checked by BMG Date	
r		
al Approvals	July 11, 202	
	CSH	CSH BN

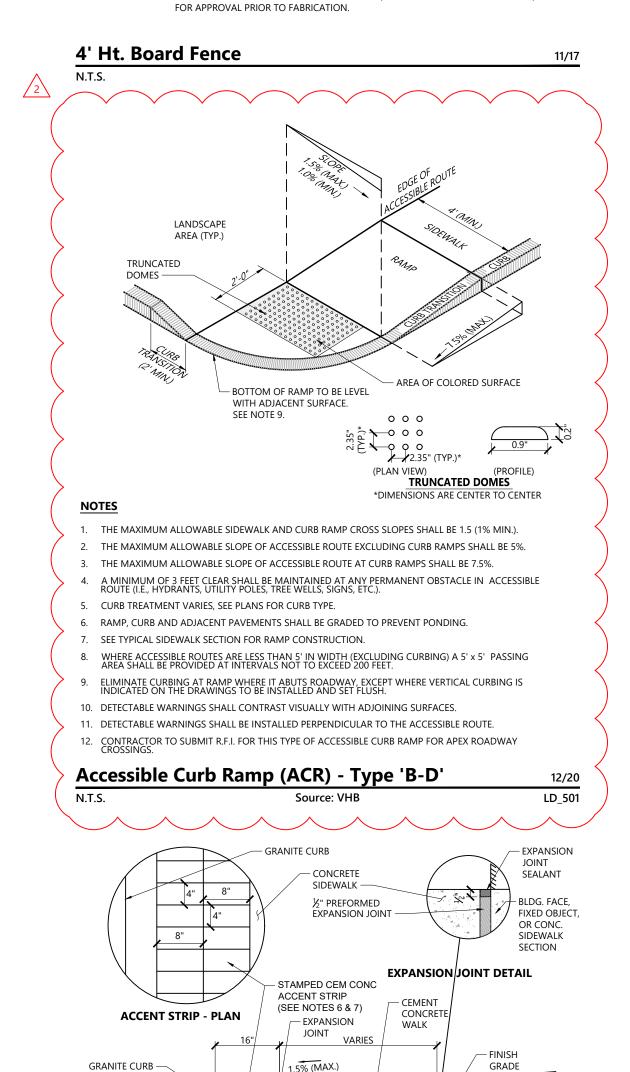
Not Approved for Construction

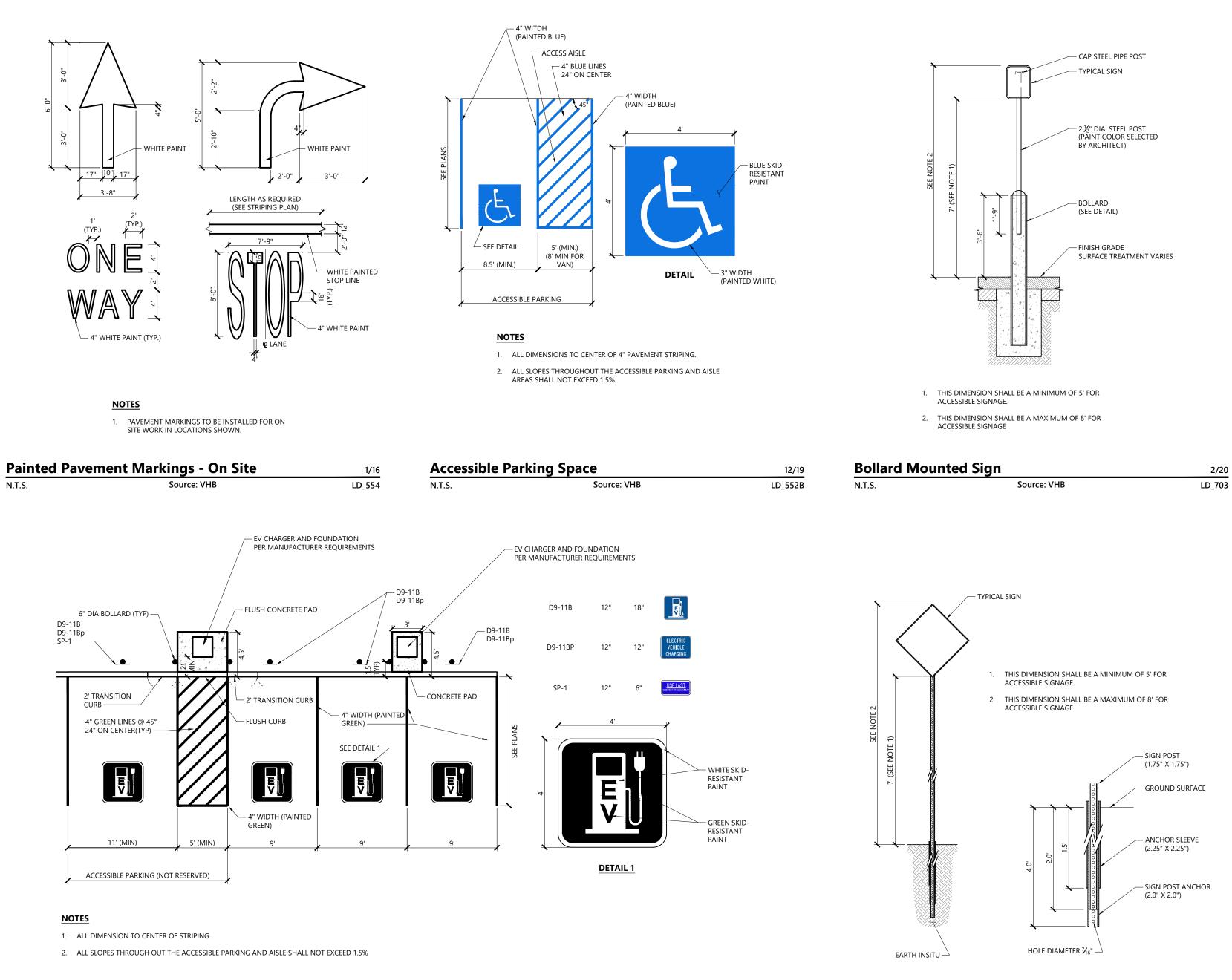


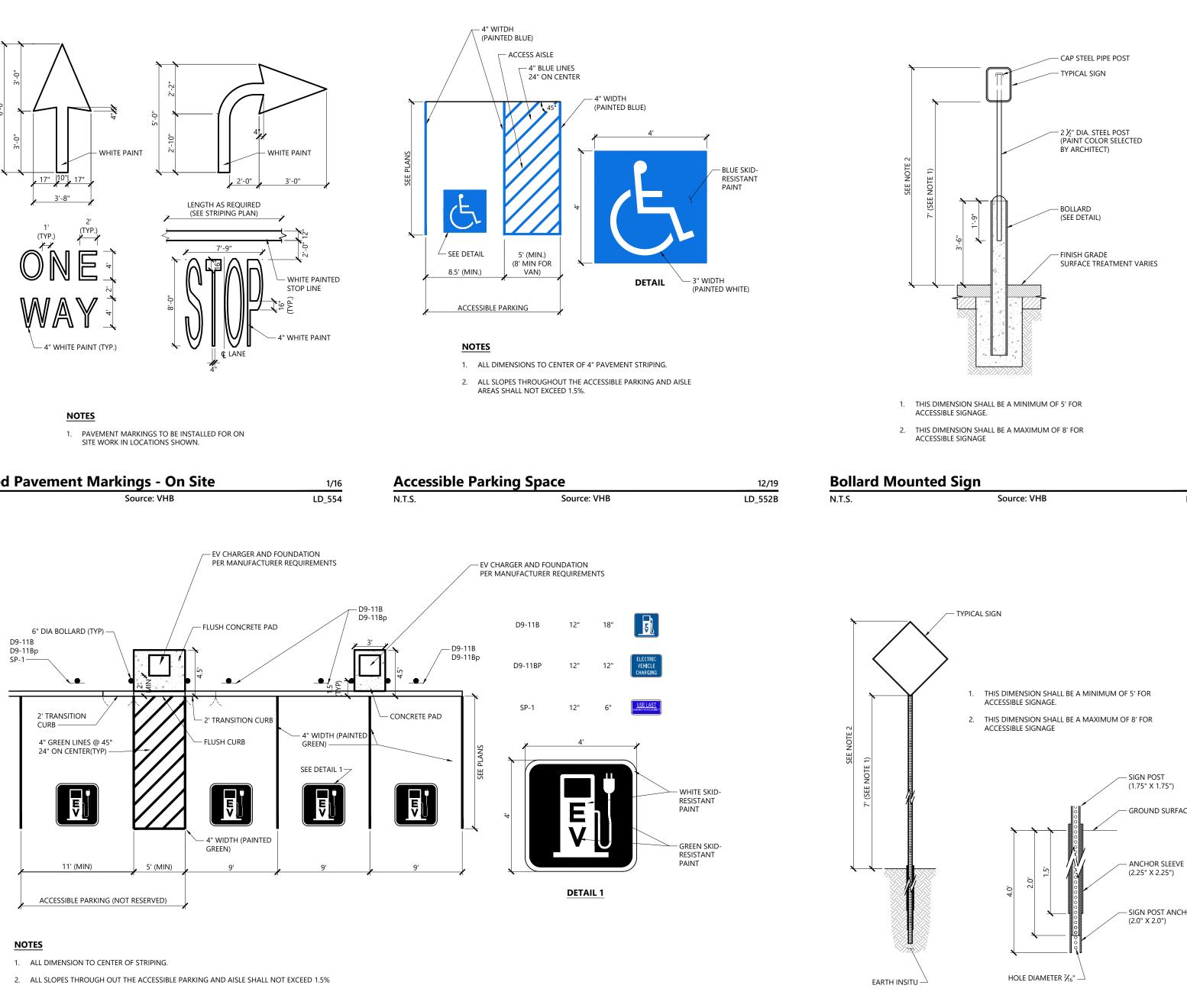




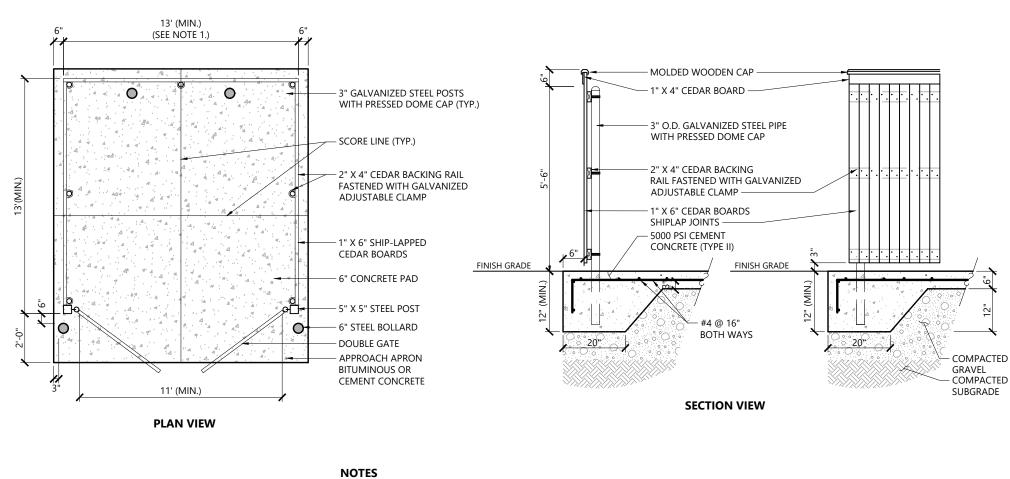








ELECTRIC VEHICLE CHARGING SPACES ADJACENT TO LANDSCAPE AREA N.T.S.





GRANITE CURB -

6" REVEAL —

PAVEMENT -

FINISH

1. CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5±) AIR ENTRAINED.

COMPACTED

SUBGRADE —

1.0% (MIN.)

GRADE

– W.W. MESH

(6X6W1.4XW1.4)

FLAT SHEETS,

CENTER DEPTH

- 2. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- FORMED EXPANSION JOINT FILLER & SEALER.
- 3. PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.

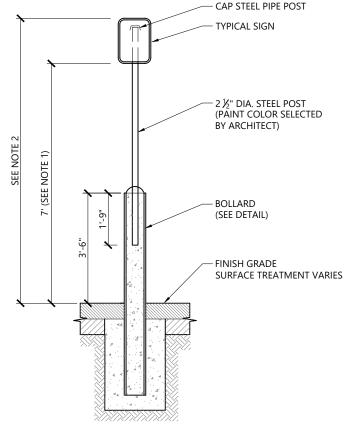
(1½" MAX STONE SIZE) ____ SECTION

8" COMPACTED GRAVEL

- 4. PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB ON ALL CONCRETE WALK AREAS EXCEPT ACCENT STRIP.
- 5. ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.
- 6. ACCENT STRIP SHALL BE CEMENT CONCRETE COLORED RED THROUGHOUT STAMP/IMPRINT WITH A BRICK PATTERN
- 7. ACCENT STRIP SHALL BE FORMED AGAINST GRANITE CURB/CURB INLET AT THE FRONT. WOOD FORMING AT THE BACK AND SHALL BE PLACED PRIOR TO CEMENT CONCRETE WALK SURFACE OR SIDEWALK. **Concrete Sidewalk with Accent Strip**

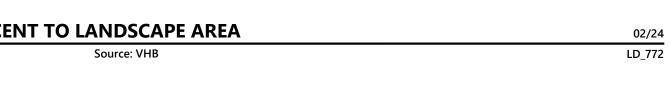
N.T.S.

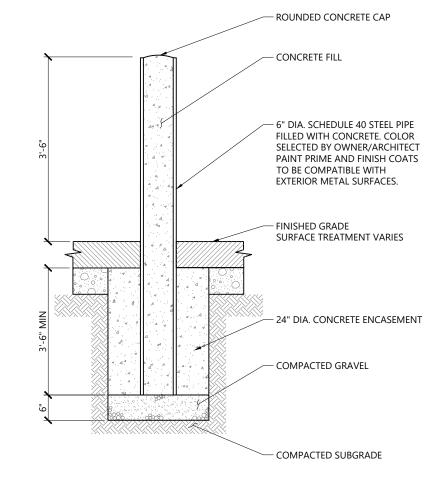
Dumpster Pad w/ Enclosure N.T.S.



Sign Post - Type 'B'

N.T.S.

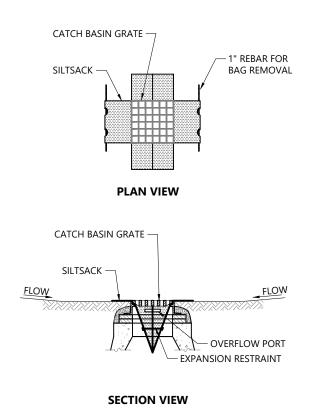




Source: VHB

1. DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSION. 2. PAD DESIGNED FOR 6 YARD DUMPSTER.

1/20 LD_713



NOTES

2/20

3/19

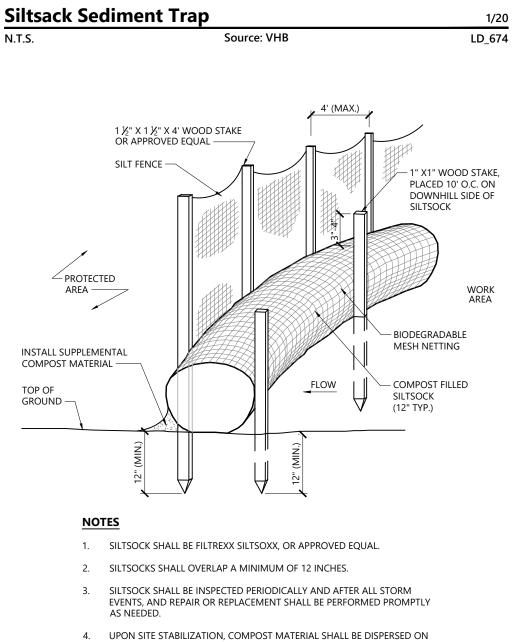
LD_702

12/19

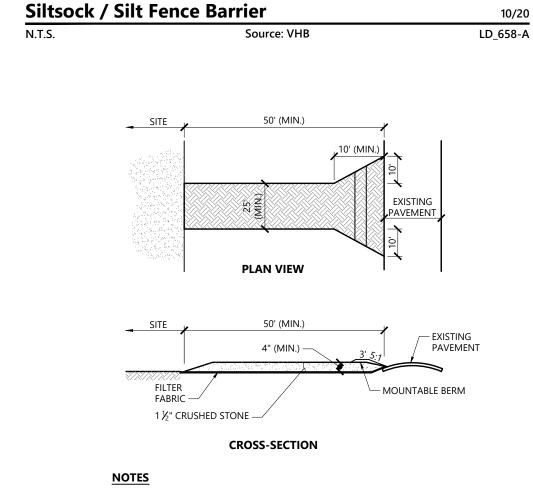
N.T.S.

LD_700

- 1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
- 2. GRATE TO BE PLACED OVER SILTSACK.
- 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTI Y STABILIZED



- SITE, AS DETERMINED BY THE ENGINEER.
- 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.



- 1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Source: VHB

LD 682

Stabilized Construction Exit



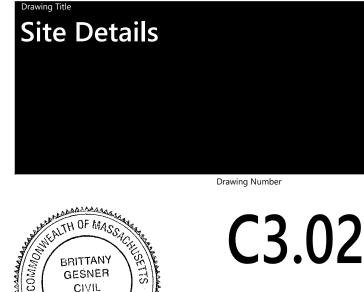
120 Front Street Suite 500 Worcester, MA 01608 508.752.1001

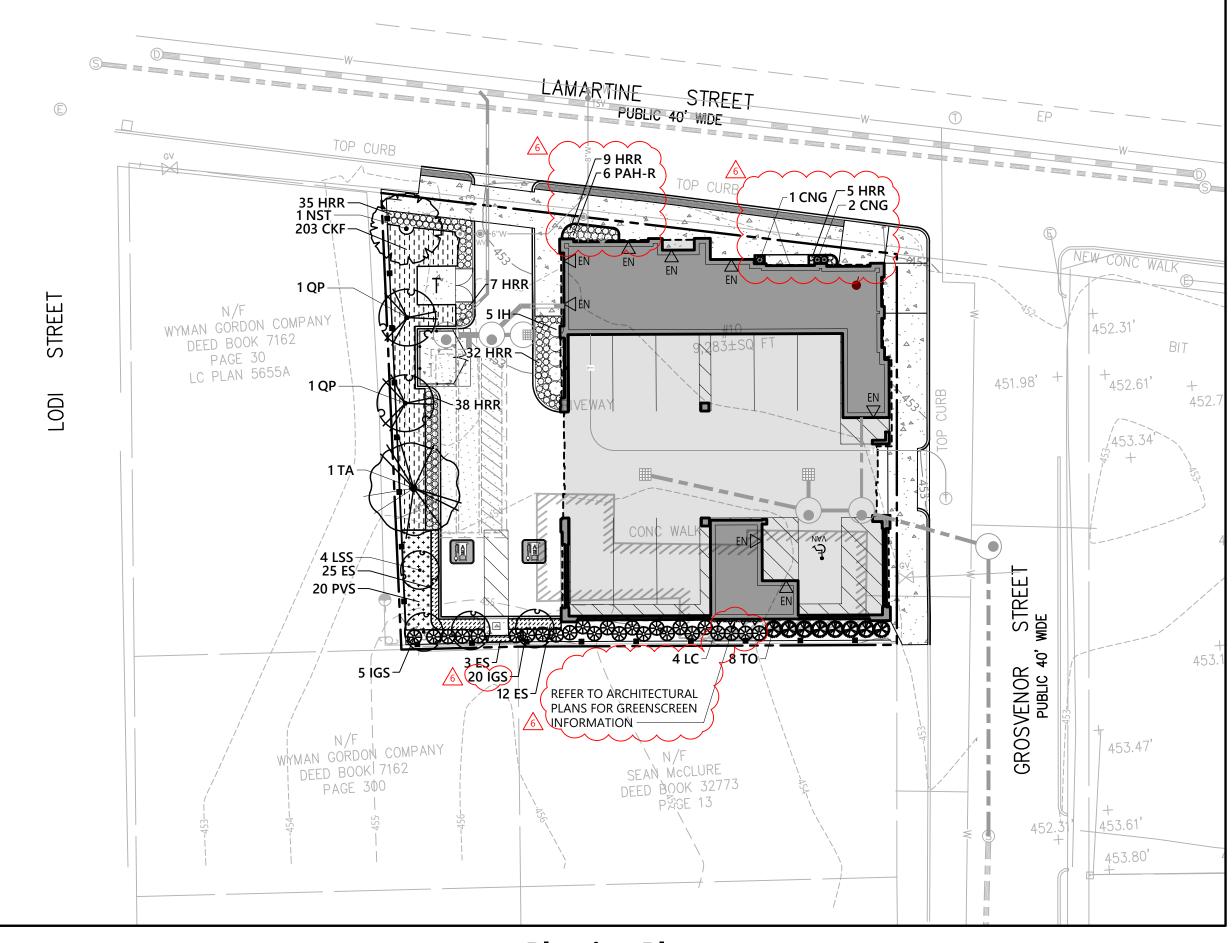
Multifamily Development

10 Grosvenor Street Worcester, MA

No.	Revision	Date	Appvd
1	Address City Comments	08/30/2024	BMG
2	Address City Comments	10/24/2024	BMG
Design	CSH	Checked by	٨G
Issued	for	Date	
Local Approvals		July 11, 2024	

Not Approved for Construction





Planting Plan

SPACING				
36" o.c.				
36" o.c.				
PERENNIALS				
18" o.c.				
PLANTERS				
18" o.c.				
\sim				
36" o.c.				
36" o.c.				
36" o.c. 18" o.c.				

#2 POT

30" o.c.

Shenendoah Switch Grass

+ + + + +

20

Panicum virgatum `Shenandoah`

Plant Note

1. ALL TREE AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH THE ASIAN LONGHORNED BEETLE PROGRAM REQUIREMENTS. ALL NEW TREES AND SHRUB PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE AND EMERALD ASH BORER RESISTANT.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Irrigation Notes

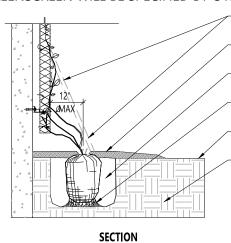
- 1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND 2. EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL 3. SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL 4. CONTRACTOR AND SUB CONTRACTORS.
- 5. BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
- IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER 6. SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.

Planter Notes

- 1. PLANTERS WILL BE SPECIFIED BY OTHERS.
- 2. ASSUMED THAT PLANTERS WILL BE HAND WATERED, WITH A SOIL DEPTH OF AT LEAST 18", AND THAT THE PLANTERS WILL BE FREE DRAINING.

3. PLANTER SOIL SHALL BE A STANDARD POTTING SOIL MIXTURE. $\sim\!\!\sim\!\!\sim\!\!\sim\!\!\sim\!\!\sim\!\!\sim$ Greenscreen Notes

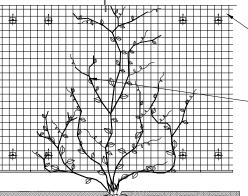
1. GREENSCREEN WILL BE SPECIFIED BY OTHERS.



- REMOVE STAKE OR ANY TEMPORARY TRELLIS DEVICE. — 2" TO 3" MULCH LAYER

- BACKFILL MIX WITH SPECIFIED AMENDMENTS - REMOVE CONTAINER AND LOOSEN ROOTS - FINISH GRADE

- UNDISTURBED SOIL



WEAVE VINE BRANCHES INTO GREENSCREEN PANEL, STARTING AT BOTTOM. TIE LARGER BRANCHES LOOSELY INTO SCREEN. IF NECESSARY WITH

- GREENSCREEN PER ARCHITECT'S

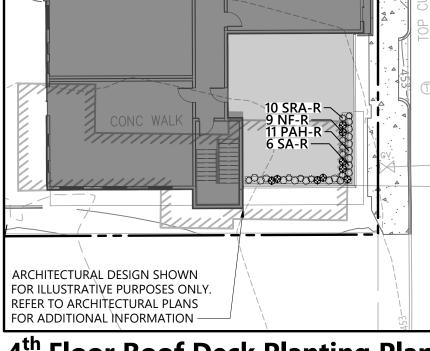
PLANS AND DETAILS

BIODEGRADABLE TIES.

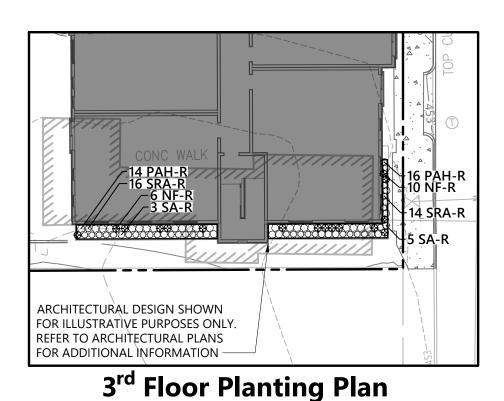


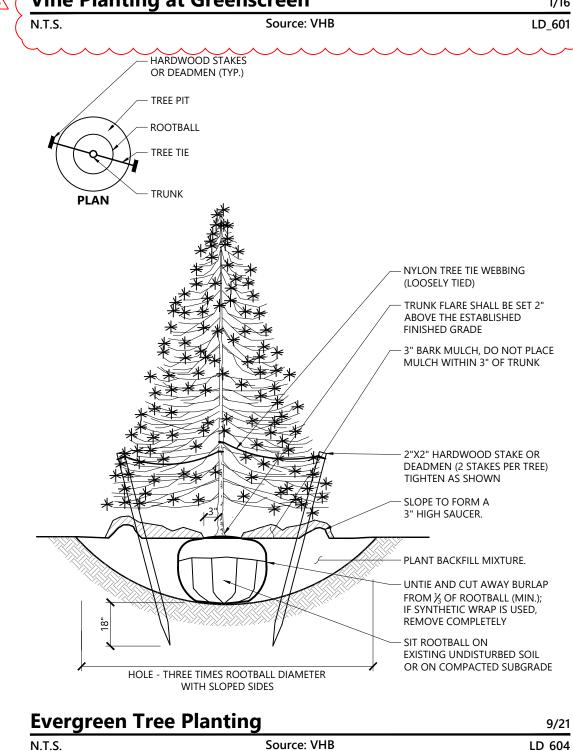
ELEVATION

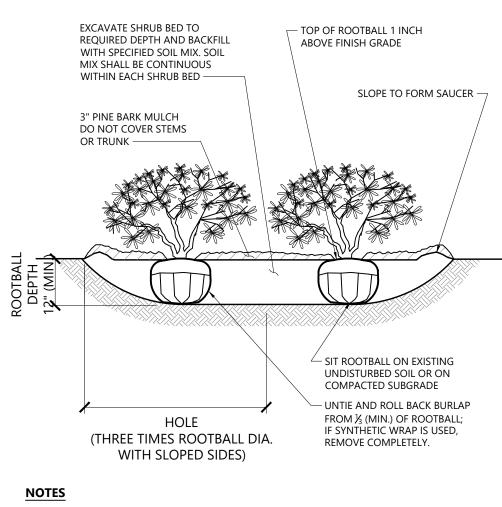




4th Floor Roof Deck Planting Plan







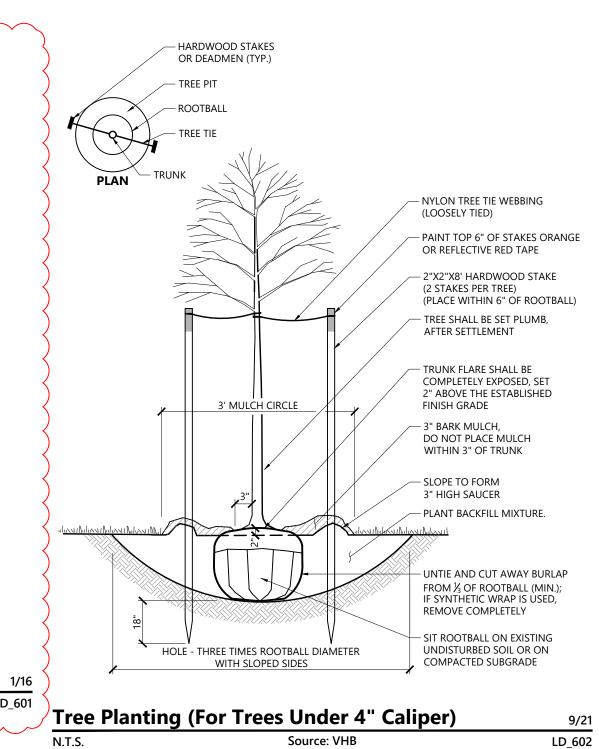
120 Front Street

Suite 500 Worcester, MA 01608 508.752.1001

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

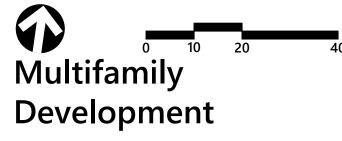
Shrub Bed Planting

N.T.S.



Source: VHB

PLANT SPACING PLANT SPACING("A") ROW SPACING ("B") 5 IN. O.C. 6 IN. O.C. 7 IN. O.C. 8 IN. O.C. 10 IN. O.C. 8½ IN. O.C. 12 IN. O.C. 10½ IN. O.C. 13 IN. O.C. 15 IN. O.C. 16 IN. O.C. 18 IN. O.C. 21 IN. O.C. 24 IN. O.C. 26 IN. O.C. 30 IN. O.C. 36 IN. O.C. 30 IN. O.C. 42 IN. O.C. 48 IN. O.C. 54 IN. O.C. 48 IN. O.C. 60 IN. O.C. 54 IN. O.C. - 2" MULCH - FINISH GRAD PLANTING SOIL CONTINUOUS IN BED - UNDISTURBED OR COMPACTED SUBGRADE



10 Grosvenor Street Worcester, MA

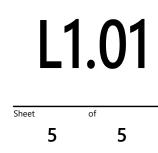
Issued for Local Approvals		Date July 11, 2024	
Designed by SC		Checked by	
6	Address City Comments	12/02/2024	BMG
5	Address City Comments	11/18/2024	BMG
4	Address City Comments	10/24/2024	BMG
3	Address City Comments	10/21/2024	BMG
2	Roof Deck Plantings	09/30/2024	BMG
1	Address City Comments	08/30/2024	BMG
No.	Revision	Date	Appvd.

Local Approvals

Not Approved for Construction

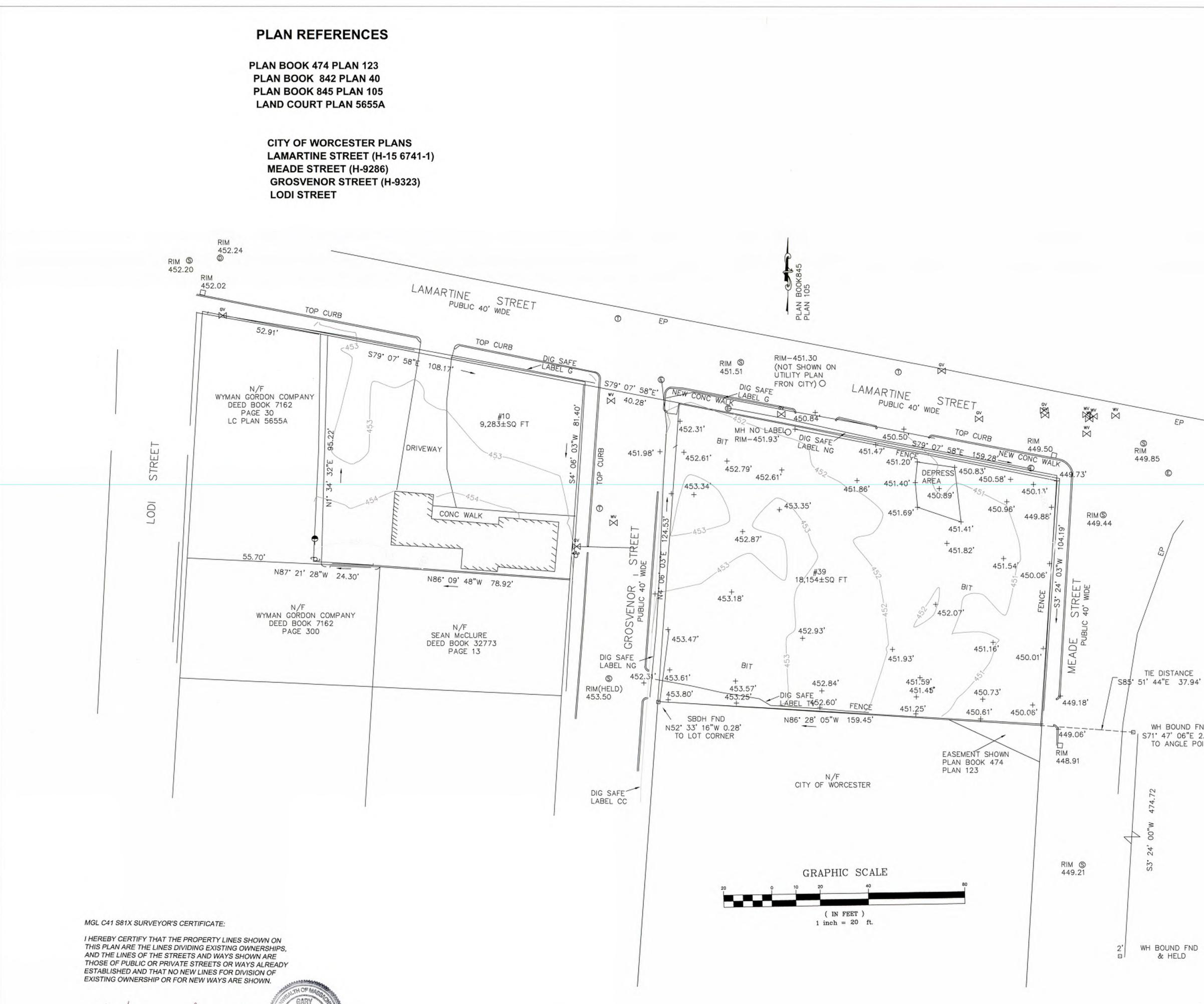


Drawing Number



1/16

LD_601

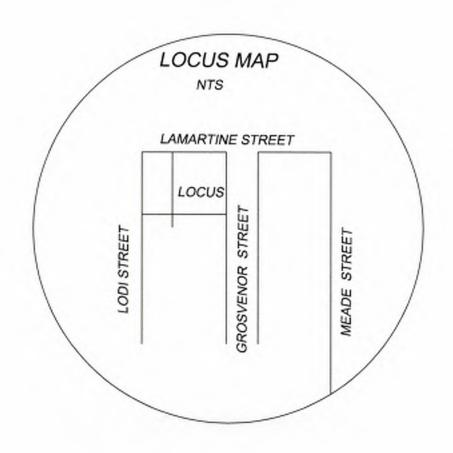


AUQUIER

#46120

DATE SURVEYOR





RIM

NOTES 1,) DATUM TAKEN FROM SMH ON UNTILITY 449.31 PLAN FROM CITY OF WORCESTER

> 2.) CONSRTUUCTION ON LOTS OR LAND IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTION RESERVATIONS OR LIMITATIONS ON RECORD

3.) UTILITIED SHOWN ARE FROM FIELD LOCATIONS IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE SIZE, EVEVATION AND LOCATION, AND TO CONTACT "DIG-SAFE ST LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION

WH BOUND FND S71' 47' 06"E 2.07' TO ANGLE POINT

> OWNER OF RECORD 39 LAMARTINE STREET LLC **DEED BOOK 66121 PAGE 389** 10 GROSVENOR STREET DANIEL YARNIE **DEED BOOK 69833 PAGE 270**

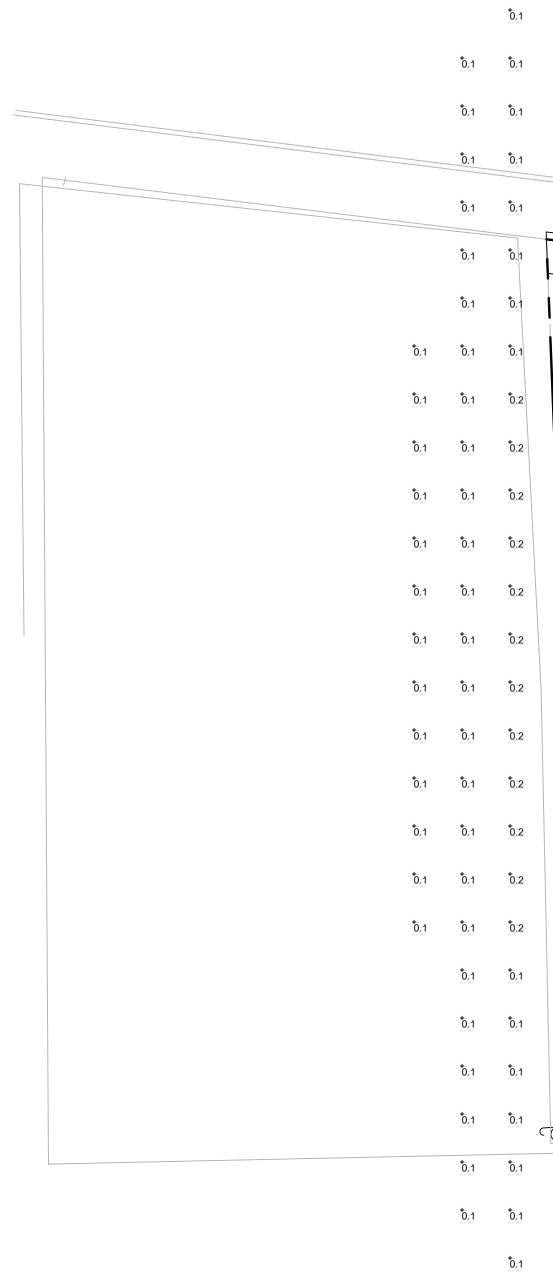
WH BOUND FND & HELD

PLAN OF LAND 10 GROSVENOR STREET 39 LAMARTINE STREET WORCESTER, MA

PREPARED FOR: DANIEL AND REBECCA YARNIE FEBRUARY 24, 2024 SCALE 1' = 20'

GEO / NETWORK LAND SURVEY, INC. 645 CHANDLER STREET SUITE 7 WORCESTER, MASSACHUSETTS 01610 508-755-7003 FAX 508-755-8003

FILE #21-111



STREET LODI

	Luminaire Schedule
	Qty Label Arr. Watts Arrangement LLF Description
	4 G1 22.6 SINGLE 0.900 SRT1-20-3K7-5QW-UNV 2 W1 14.5 SINGLE 0.900 RWL1-48L-15-3K7-4W-U
	1 W2 10.1 SINGLE 0.900 RWL1-48L-10-3K7-3-U
	Calculation Summary
	LabelUnits AvgMaxMinAvg/MinMax/MinSiteFc0.383.00.0PROPOSED
to.1 to.1 to.1 to.1	
	MULTIFAMILY BUILDING
b.1 b.2 b.2 b.2 b.1 DUBLIC 10	12 UNITS
1 0.1 0.1 0.2 0.2 0.2 0.2 0.2 0.1 PUBLIC 40' WIDE	4 STORIES
1 to 2 to 2 to 2 to 3 to 3 to 3 to 2	15,293± GSF
1 0.2 0.3 0.4 0.4 0.4 0.4 0.4	
0.2 0.3 0.5 0.7 0.6	
$\overrightarrow{0.2} \overrightarrow{0.3} \overleftarrow{0.4} \overrightarrow{0.5} \overrightarrow{0.7} \overleftarrow{0.9} \overrightarrow{0.7} \overrightarrow{0.7}$	
$b.2$ $b.3$ $b.4$ $b.5$ $b.5$ $b.7$ $b.9$ $b.6$ $rac{A}{A}$ A $rac{A}{A}$	
	b.1 $b.1$ $b.1$
	• •
	b.1 b.2 b.3 b.2 b.2 b.1
2 0.4 0.6 0.7 0.8 0.9 1.2 1.5 1.1 0.9 1.0 1.1 1.1 1.1 1.1 0 0.9 0.9 1.1	1.2 1.1
	t.8 t.7 p.8 △ 0.4 0.5 0.4 0.3 0.2 0.1 0.1
	t.9 t.9 EN 5.6 5.6 5.5 5.4 5.3 5.2 5.1
2 b_4 $b_{.6}$ $b_{.8}$ $b_{.0}$ $b_{.1}$ $b_{.1}$ $b_{.1}$ $b_{.1}$ $b_{.2}$ $b_{.2}$ $b_{.1}$ $b_{.2}$ $b_{.3}$ $b_{.3}$ $b_{.6}$ $b_{.17}$ $b_{.17}$ $b_{.5}$ $b_{.1}$ $b_{.19}$ $b_{.22}$ $b_{.25}$ $b_{.11}$ $b_{.21}$ $b_$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
2 to 4 to 6 to 7 to 8 to 1.4 to 1.9 to to 2.3 to 2.4 to 5.2 to to 5.3 to 5.4	2.3 2.2 1.2 0.8 0.8 0.6 0.5 0.3 0.2 0.1
2 0.4 0.5 0.6 0.8 1.0 1.4 1.8 1.7 2.0 2.4 3.0 2.9 2.5 2.2 2.1 2.2 2.5	¹ 2.9 ¹ 2.8 ¹ 2.1 ¹ 1.7 ¹ 1.2 ¹ 2 ¹ 2 ¹ 0.8 ¹ 0.7 ¹ 0.5 ¹ 0.3 ¹ 0.2 ¹ 0.1
2 0.3 0.5 0.6 0.7 1.0 1.4 1.7 18 WL _{2.0} 2.4 3.0 2.9 2.5 2.2 2.1 2.2 2.5 MH: 15	$\begin{bmatrix} 2.9 & 2.8 & 2.1 & 1.7 \\ & & & 1.2 \\ & & & & 1.1 \\ & & & 1.1 \\ & & & & 1.1 \\ & & & 1.1 $
2 0.3 0.4 0.5 0.7 0.9 1.3 1.7 1.6 2.1 2.3 2.2 2.4 2.5 2.2 2.0 2.3 2.5	2.5 2.4 2.2 1.7 4.2 1.0 0.8 0.6 0.4 0.2 0.1
	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
1 0.3 0.4 0.5 0.6 0.7 1.0 1.2 1.4 1.3 1.4 1.7 1.7 1.2 0.9	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
1 0.2 0.4 0.5 0.5 0.6 0.8 0.9 1.0 0.7 0.9 1.1 1.0 0.8 0.6 1.0 1.0	
1 b.2 b.2 b.3 b.3 b.3 b.3 b.2	\$\overline{0.1}\$ \$\overline{0.4}\$ \$\overline{0.3}\$ \$\overline{0.2}\$ \$\overline{0.1}\$ \$\overline{0.1}\$
1 ⁶ .1 ⁶ .2 ⁶ .2 ⁶ .2 ⁶ .2 ⁶ .2 ⁶ .1	\$\overline{0}.1\$ \$\overline{0}.2\$ \$\overline{0}.2\$ \$\overline{0}.1\$ \$\overline{0}.1\$
1 ⁶ .1	b.1 b.1 b.1 b.1 b.1
to.1 to.1 to.1	to.1 to.1 to.1

